



**REPORT FROM: PLANNING, ECONOMIC DEVELOPMENT AND  
REGULATORY SERVICES MANAGER**

**TO: COLNE & DISTRICT COMMITTEE**

**DATE: 08<sup>th</sup> August, 2019**

**Report Author: Neil Watson  
Tel. No: 01282 661706  
E-mail: neil.watson@pendle.gov.uk**

## **PLANNING APPLICATIONS**

### **PURPOSE OF REPORT**

To determine the attached planning applications.

## COLNE AND DISTRICT COMMITTEE REPORT 08 AUGUST 2019

<b>Application Ref:</b>	<b>19/0083/HHO</b>
<b>Proposal:</b>	Full: Change of use of agricultural land to domestic garden and erection of a detached garage with office accommodation above.
<b>At:</b>	Thornlea, Lane House Lane, Trawden
<b>On behalf of:</b>	Mr & Mrs N Waring
<b>Date Registered:</b>	04/03/2019
<b>Expiry Date:</b>	10/06/2019
<b>Case Officer:</b>	Alex Cameron

This application was deferred from Committee in July due to concerns about the ownership of the access land.

### **Site Description and Proposal**

The application site agricultural land to the north of Thornlea. The land is adjacent to the settlement boundary of Trawden with former tram tracks and dwellings opposite to the west and open land to the north and east.

The proposed development is the change of use of the land to domestic garden and the erection of a detached domestic garage. The original plan was for a triple garage with office above, this has been amended to a single storey double garage with a footprint of 8m x 7.6m with and eaves height of 2.6m and a ridge height of 4.4m.

The proposed garage would be finished in natural stone with a natural slate roof and upvc windows and doors.

### **Relevant Planning History**

None.

### **Consultee Response**

LCC Highways - No objection to the principle of a garage and office for domestic purposes. However the office appears to be to accommodate the applicants business, therefore more information is required to determine the extent of the operational requirements and additional vehicle movements that the office use would generate.

The sett-paved lane is privately maintained, a single vehicle width and with a network of public footpaths which will result in a number of pedestrian movements. An intensification of use by vehicles on the lane would not be a concern.

Trawden Forest Parish Council – The development is outside of the settlement boundary, and as detailed in Policy 1 of the NHP states 'Outside settlement boundaries of Trawden and Cotton Tree, development involving construction of new buildings, which is not specifically allowed for by other policies in this Plan or the PLP will only be permitted if it encourages tourism and complies to Policy 5, agricultural and other land-based rural businesses or where it is in a sustainable location adjacent to the settlement boundary and complies with other policies in this NHP and PLP.

There are concerns that a 2 storey building is being sought adjacent to a site included in the emerging Local List in conjunction with the adopted Neighbourhood Plan. The garage faces down the field. The Councillors think that if it is approved, it should face the house.

The garage requires a larger footprint facing down the hill than if it was rotated 90deg. The Tram Tracks were not designed to have large, heavy vehicles moving over them. If PP is granted, either the tracks need to be protected from damage, or any damage that is caused would have to be repaired at the home owners expense.

There is already a covenant on the Tram Tracks land registry documents which states that properties who do have access over them must contribute to any maintenance. This was disputed by the home owners and the Councillors are concerned that more damage will occur through increased use.

It appears on the plans that the access being created is using some of the Parish Council land which the home owners have already been advised the Parish Council will not sell to them.

If PP is granted, the Parish Council would like to see their land, directly outside the property reinstated to a grassed verge. The whole length of the Tram Tracks verge is owned by the Parish Council.

## **Public Response**

Site and press notices posted and nearest neighbours notified – Responses received objecting to the development on the following grounds:

- Harm to the character of the village.
- Harm to the historic interest of the tramway.
- The proposed development would not preserve or enhance the conservation area.
- Physical harm to the tramway from additional vehicles and construction traffic.
- The site is outside of the settlement boundary.
- Impact on protected species including bats and birds.
- Concerns about future change of use to a dwelling.
- Concerns about business use and resulting traffic generation.
- Concerns still apply to amended plans.
- The proposal would set a precedent for other similar development.

## **Officer Comments**

### **Policy**

#### **Pendle Local Plan Part 1: Core Strategy (LPP1)**

Policy ENV1 states that the historic environment and heritage assets of the borough (including Listed Buildings, Conservation Areas, Scheduled Monuments, non-designated assets and archaeological remains), including and their settings, will be conserved and where appropriate should be enhanced. Proposals in the designated open countryside should have regard to the Development in the Open Countryside SPG. The impact of new developments on the natural environment (biodiversity and geodiversity) should be kept to a minimum.

Policy ENV2 states that all new development should seek to deliver the highest possible standards of design, in form and sustainability, and be designed to meet future demands whilst enhancing and conserving heritage assets.

Policy ENV4 (Promoting Sustainable Travel) requires new development to have regard to potential impacts that may be caused on the highway network. Where residual cumulative impacts cannot be mitigated, permission should be refused.

### Trawden Forest Neighbourhood Plan (TFNP)

Policy 1 (Location of Development) of the TFNP states that outside the settlement boundaries of Trawden and Cotton Tree, development involving the construction of new buildings, which is not specifically allowed for by other policies in this Plan or the Pendle Local Plan, will only be permitted in the following circumstances:

(1) Where it requires a countryside location for tourism related purposes and complies with Policy 5, or will support agricultural and other land-based rural businesses; or

(2) Where it is in a sustainable location adjacent to the settlement boundary and complies with all other policies in this Neighbourhood Plan and the Pendle Local Plan.

### Development in the Open Countryside Supplementary Planning Guidance (SPG)

The SPG states that planning permission will not normally be granted for private gardens in the open countryside that area excessive. Excessive is defined as gardens that would project beyond the line of other existing garden extensions or over 0.1 hectares.

### **Principle of the development**

The proposed development is located outside of but directly adjacent to the settlement. The application is for the extension of the garden of the dwelling and erection of a detached domestic garage. Policy 1 of the TFNP allows for new buildings outside of settlement boundaries, which are not specifically allowed for in other policies, where they are in a sustainable location adjacent to the settlement boundary and comply with all other policies of the TFNP and Local Plan.

The proposed garage is adjacent to the settlement boundary and associated with an existing dwelling, this is a sustainable development and, as addressed in the sections below, does not conflict with any of the policies of the TFNP or Local Plan.

The proposed garden extension would not project beyond existing gardens of the houses along the tram tracks and would cover an area of approximately 0.06 hectares. It accords with the guidance set out in the Development in the Open Countryside SPG.

The proposed development is acceptable in principle.

### **Design and Heritage Impact**

The tram tracks are identified as making a contribution to the character of the Church Street, Clogg Head and Old Chelsea area of settlement character and a candidate for inclusion on the Local List.

The Trawden Forest Conservation area Character Appraisal states that the former line of the track remains an important link with late nineteenth century.

The amended garage would be of an appropriate similar to existing detached garages at adjacent properties, and its design and materials would be in keeping with its surroundings. The proposed garage, driveway and garden extension would not cause harm to the significance of the tram tracks and with conditions to ensure appropriate boundary treatments and landscaping, would preserve the character, appearance and significance of the Conservation Area.

The proposed development is acceptable in accordance with policies ENV1 and ENV2 and the guidance of the Framework.

### **Amenity**

The building would be a sufficient distance from surrounding dwellings to ensure that it would not adversely impact upon the residential amenity of their occupants.

### **Highways**

The proposed access is existing and the development would not increase the level of traffic accessing the site. The development would improve car parking and turning arrangements on the site and therefore would be of benefit to highway safety.

Taking into account the small scale of the development, impacts from construction traffic would be likely to be minor and short-term and would be acceptable. A condition requiring repair of damage to the tram tracks would not meet the test of reasonableness as it could not be known that any damage has been caused by the construction traffic or by other traffic using the tram tracks. Furthermore, similar delivery and construction vehicles could access this or other properties along the tram tracks in connection with works that do not require a planning application.

The proposed development is therefore acceptable in highway terms in accordance with policy ENV4.

### **Ecology**

An ecology survey of the land has been carried out, this concludes that the land is of low value with no evidence of use by protected species. The survey recommends removal of the existing leylandii hedge and replacement with hawthorn, holly and rowan, along the western site boundary. The existing hedge would not be affected by the development as proposed and its replacement is not necessary to make the development acceptable, therefore it is not necessary to attach a condition requiring the hedge to be replaced.

The proposed development is acceptable in terms of its ecological impact in accordance with policy ENV1.

### **Other issues**

Use of the building for any use other than that ancillary to the domestic use of the dwelling would require a separate planning permission.

There is an existing access onto the tram tracks, the applicant has submitted a survey plan demonstrating that no additional works would be necessary on Parish Council owned land. Certificate B has also been completed and the Parish Council served notice in accordance with the requirements of that notice.

### **Reason for Decision**

Section 38 of the Planning and Compulsory Purchase Act 2004 requires that applications be determined in accordance with the development plan unless material considerations indicate otherwise. The proposed development would preserve the significance of the Conservation Area and is in accordance with the Pendle Local Plan Part 1: Core Strategy and Trawden Forest Neighbourhood Plan. The development therefore complies with the development plan. There is a

positive presumption in favour of approving the development and there are no material reasons to object to the application.

### **RECOMMENDATION: Approve**

Subject to the following conditions:

1. The proposed development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**Reason:** Required to be imposed by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans: Location Plan, 2018/29/1B, 2018/29/2B.

**Reason:** For the avoidance of doubt and in the interests of proper planning.

3. Prior to the commencement of above ground works involved in the erection of the external walls of the building hereby approved samples of external materials of the walls and roof shall be submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be carried out in strict accordance with the approved materials.

**Reason:** These materials are appropriate to the locality and in order to allow the Local Planning Authority to control the external appearance of the development to preserve the significance of the Conservation Area.

4. The building hereby approved shall only be used for domestic purposes ancillary to the enjoyment of Thornlea.

**Reason:** For the avoidance of doubt in the interests of highway safety.

5. Notwithstanding the provisions of Article 3 and parts 1 and 2 of the second Schedule of the Town & Country Planning (General Permitted Development) Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no development as specified in Classes E & F of Part 1 and Class A of Part 2 of Schedule 2 of that Order shall be carried out without express planning permission first being obtained from the Local Planning Authority.

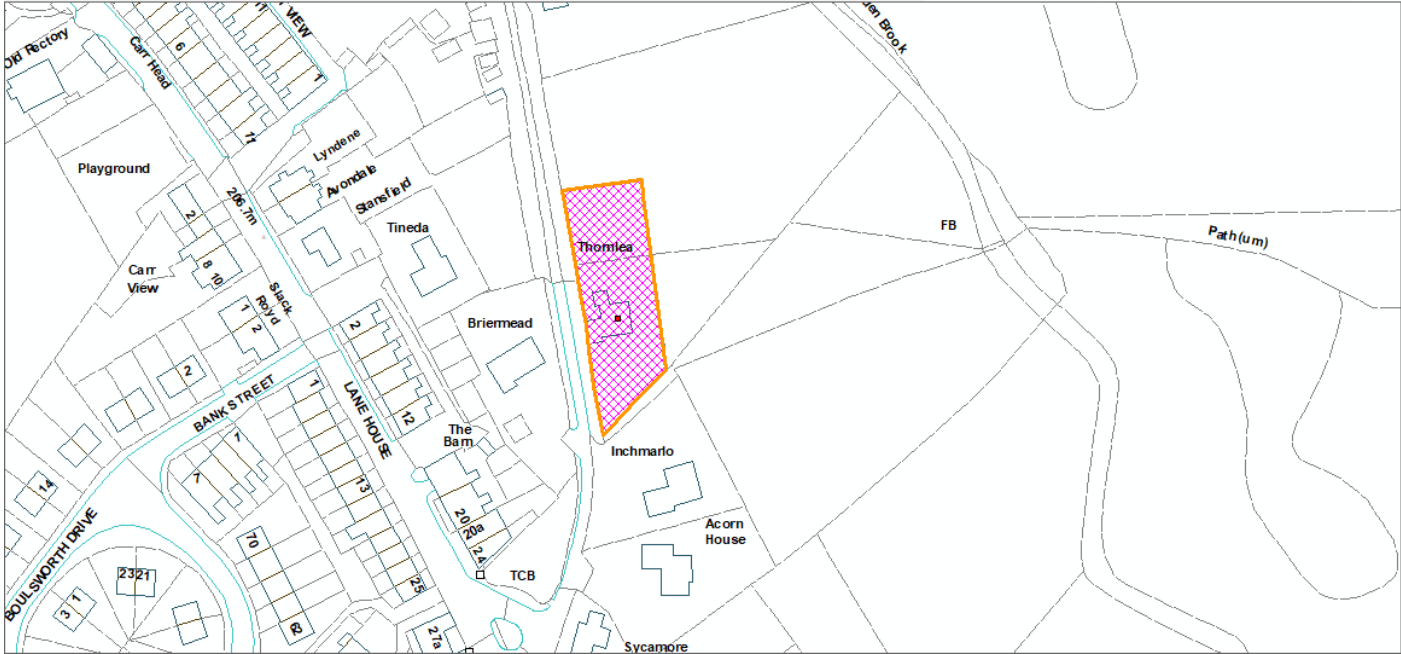
**Reason:** To enable the Local Planning Authority to control any future development on the site in order to safeguard the character, appearance of the Conservation Area.

6. No development shall commence unless and until a detailed landscaping scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include the following:

- a. the exact location and species of all existing trees and other planting to be retained;
- b. all proposals for new planting and turfing indicating the location, arrangement, species, sizes, specifications, numbers and planting densities;
- c. an outline specification for ground preparation;
- d. all proposed boundary treatments with supporting elevations and construction details;
- e. all proposed hard landscape elements and pavings, including layout, materials and colours;
- f. the proposed arrangements and specifications for initial establishment maintenance and long-term maintenance of all planted and/or turfed areas.

The approved scheme shall be implemented in its entirety within the first planting season following the substantial completion of the development. Any tree or other planting that is lost, felled, removed, uprooted, dead, dying or diseased, or is substantially damaged within a period of five years thereafter shall be replaced with a specimen of similar species and size, during the first available planting season following the date of loss or damage.

**Reason:** To ensure that the development is adequately landscaped so as to integrate with its surroundings.



- Application Ref:** 19/0083/HHO
- Proposal:** Full: Change of use of agricultural land to domestic garden and erection of a detached garage with office accommodation above.
- At:** Thornlea, Lane House Lane, Trawden
- On behalf of:** Mr & Mrs N Waring

## REPORT TO COLNE AND DISTRICT COMMITTEE ON 08 AUGUST 2019

**Application Ref:** 19/0314/FUL

**Proposal:** Full: Erection of single storey extensions to rear, side (North) and front for Use Class D1 purposes, alterations to windows to all elevations and creation of pedestrian link from School Street.

**At:** Saint Bartholomews School, Exchange Street, Colne

**On behalf of:** Mosque Secretary Madina Mosque

**Date Registered:** 26/04/2019

**Expiry Date:** 02/07/2019

**Case Officer:** Alex Cameron

This application has been brought before Committee as more than two objections have been received.

### **Site Description and Proposal**

The application site is a grade II listed mid 19<sup>th</sup> century school building built in a 17th century vernacular style located within the Albert Road Conservation Area. The building underwent substantial internal alterations in the 1960s and few original internal features remain.

This is an application for Planning Permission for:

Erection of a single storey extension to the north side, running the length of the existing boundary wall and a single storey extension to south west corner of the building. The proposed extension would have standing seam zinc roofs and be faced in Ashlar stone. The north side extension would have a central glazed entrance lobby feature where it meets the north east corner of the building.

Replacement timber windows and doors, enlargement of an existing door opening in the north side of the building and installation of four rooflights.

Alterations to the boundary wall to form a pedestrian link from School Street.

It should be noted that this application does not involve any material change of use of the site. The lawful use of the site falls within Use Class D1 (non-residential institutions) this includes schools, public halls and places of worship, the site can be lawfully be used for any use within Use Class D1 without the need for a planning application.

### **Relevant Planning History**

13/01/0590P - Convert former school building to 7 residential flats and one warden's flat. Approved.

13/01/0693P - Conservation Area Consent to demolish scout building. Approved.

### **Consultee Response**

**PBC Conservation** – The building was listed at Grade II in 2004. It was built as a church school in 1844, in a 17th century vernacular style. It is an imposing 2-storey building, cruciform in plan, built of dressed and coursed sandstone beneath a blue/grey slate roof. It makes a positive contribution



to the character and appearance of the Albert Rd CA. There is a strong symmetry to the design, which is a key element of its significance; the central projecting gable having a tall stone mullioned window, entrance doors for boys and girls, prominent stone kneelers to the gable ends and a small bell tower. The other wings are also gabled, with ranges of smaller mullioned windows, stone finials, kneelers and prominent chimney stacks. The rear wing was originally the caretaker's house, later being incorporated into the school as it expanded, and a separate outbuilding was built against the northern and eastern boundary walls in the early C20th.

Substantial alterations to the interior were carried out in the 1960s when it was converted to a church hall; this including the removal of the original staircase and upper floor and replacement of most of the windows. Although the interior has been radically altered, the exterior still retains its early Victorian appearance and distinctive character. The building has a high perimeter wall in coursed rubble stone enclosing a stone flagged playground, with a pedimented double access gateway originally for boys and girls; this boundary wall adding to the significance of the whole composition.

A timber scout hut and other buildings built over part of the yard became derelict and have been removed in recent years. The listed building has been vacant and at risk for at least 20 years, and though there has been some vandalism, the external fabric still remains substantially intact. The building desperately needs a new use to prevent further deterioration of the fabric and to preserve it into the future. These proposals will enable the new owners to restore and repair the external elevations, including re-roofing, re-pointing, and new timber windows to reflect the pattern of the originals. To fully upgrade the internal spaces to facilitate the new use, modern fittings and subdivisions would be stripped out, and something closer to the original layout of the building would be restored, with the reinstatement of a first floor with separate classrooms, and a new staircase within the front wing behind the tall gable window.

Together with repairs, reinstatements and internal fitting out, the proposals include new stone-built single-storey extensions in a simple contemporary style, over the areas previously occupied by outbuildings. Several alternative designs were developed and discussed at pre-application stage, however the optimum siting for the additional accommodation required was considered to be on the footprint of the former outbuildings, set against the side boundary wall, and therefore essentially concealed when viewed from outside the site. A simple and contemporary single storey building in matching natural stone with flat zinc sheet roof would be linked to the corner of the listed building by means of a transparent glazed entrance lobby section with glass walls, doors and roof. This would enable the form of the original building and the important front elevation to remain clearly visible, in order to minimise any adverse impact on the significance of the LB.

The submitted Heritage Impact Assessment sets out the heritage significance and history of the building and the impact of the proposals on that significance, which essentially lies in the age of the building, its historical importance to the town, and architecturally in the main external shell. Internally the building has been gutted and is of very limited significance, save for the remaining roof trusses, which would be preserved in situ. The report concludes that the proposals will preserve and enhance the significance of the building through restoring its first floor, refurbishing its structure, and ensuring its long term future through providing it with an optimum viable re-use for educational purposes.

I consider that the significance of the building and the Conservation Area would be preserved, subject to the use of high quality materials, finishes and design detailing in both the conversion and the new extensions.

In addition the following amendments should be sought -

- The fully glazed lobby area should be extended around the corner of the LB right up to the internal double doors, in order to fully reveal the masonry and form of the building and to enable additional visual separation between old and new buildings (as previously?)

- Re-order the fenestration on the front of the new build to introduce groups of mullioned windows rather than single windows (as previously).
- The boundary walls to School St and Cross School St should be rebuilt with rubble stone (not squared), with rounded stone coping detail as existing. Barge boards should be omitted (condition?)
- Internal lining walls should be cut back to fully reveal stone surrounds to windows and doors, (not boxed in); stone sills/surrounds should be exposed stone finish. Stone surrounds should be retained to the two ground floor windows to be blocked up, adjacent to the plant room extension. Existing stone window surrounds should be retained for the new doorway between lobby and prayer room
- Is there a ceiling to the 1st floor and a loft floor (no plan?). If so, the ceiling needs to fully reveal the stone window surrounds. Could 1st floor be open to underside of roof to reveal the trusses?
- External doors should be timber vertical boarded, not panelled (condition?)

Additional conditions are required to control detailed design and finish of new windows, all new stonework (ashlar plinth with dressed stone above), slates, bespoke glazing system for lobby, stone cleaning and repointing, zinc roofing design, rain water goods, rooflights (recessed conservation type with vertical mullion), internal doors/casing and staircase, design of vehicle/pedestrian entrance stone gateposts and gates.

Additional comments in response to amended plans:

Most of the points made have been satisfactorily addressed in the amended plans – window grouping on the extension, boundary walls stone and coping detail, ceiling height increased to reveal base of roof truss, and external door design.

Re the extent of the new glazed lobby section, I was not suggesting that the glazed roof section be carried around to fully expose the whole gable end of the building – merely around the corner of the building and up to the new partition wall which encloses the main lobby area. This would then better define the lobby space and avoid a potentially awkward join between solid and glazed roof in the middle of the room.

Regarding window reveals internally, the amended plans are acceptable.

**LCC Highways** – No objection to amended plan removing access and parking. Please attach the following conditions: cycle storage, construction method statement.

**Cadent Gas** – Please attach a note relating to building over gas apparatus.

**Lancashire Constabulary Architectural Liaison** - Due to the high crime levels in the area, I would strongly advocate that the following crime reduction measures are incorporated into the final design and conditioned as part of the planning application process:

Secure boundary treatment, prevention of access to flat roofs, CCTV, lighting, limiting recesses, intruder alarm, window and door security, access control system, anti-graffiti surfaces, security bollards.

**Colne Town Council** - Colne Town Council is supportive of this application subject to improved fenestration pattern to the extension, reinstatement of boundary walls with correct coursing and coping detail, and treatment of window reveals internally.

### **Public Response**

A press and site notice have been posted and nearest neighbours notified – A number of responses have been received referring to the application as being for a mosque. This application

is for extensions and alterations only, it does not propose a material change of use of the building, which could be used as a place of worship without the need for planning permission.

Responses received, including a petition with over 1,300 signatures, objecting on the following grounds:

- Lack of necessity for the proposed development.
- Concerns about noise and disturbance.
- Inadequate parking provision.
- Highway safety and traffic concerns.
- The proposed development would cause harm to the character and appearance of the Listed Building and area.
- No arrangements are in place to deal with recycling of waste.
- The proposed CCTV security does not specify location, and raises questions of data protection, and who will be filmed and recorded and data retention policies are not expressed.

Responses received supporting the development for the following reasons:

- The building has been derelict for many years, without this development the building will continue to deteriorate.
- The adjacent mosque proposing the development has been established for a number of years without issues.
- There is ample parking surrounding the building and any potential parking issues could be sufficiently addressed informally.
- The proposed development is necessary to support the needs of the community.

## **Officer Comments**

### **Policy**

#### **Replacement Pendle Local Plan**

Policy 4D (Natural Heritage - Wildlife Corridors, Species Protection and Biodiversity) States that development proposals that would adversely impact or harm, directly or indirectly, legally protected species will not be permitted, unless shown to meet the requirements of The Conservation (Natural Habitats, &c.) Regulations 1994.

#### **Pendle Local Plan Part 1: Core Strategy**

Policy ENV1 states that the historic environment and heritage assets of the borough (including Listed Buildings, Conservation Areas, Scheduled Monuments, non-designated assets and archaeological remains), including and their settings, will be conserved and where appropriate should be enhanced.

Policy ENV2 states that all new development should seek to deliver the highest possible standards of design, in form and sustainability, and be designed to meet future demands whilst enhancing and conserving heritage assets.

### **Design and Heritage Impact**

The proposed extensions are of a simple contemporary style and would not be prominent from outside of the site. They would be approximately level with the height of the existing boundary

walls that would be replaced with their back walls replicating those sections of the existing boundary walls.

Whilst the glazed entrance would provide some visual separation between the extension and the corner of the cruciform layout building, it has been advised that the glazed element should continue round the corner of the building to better define the lobby space and avoid a potentially awkward join between solid and glazed roof. This has been requested but the agent has indicated that it would be financially unviable.

The proposed extension would result in minor harm to the significance of the Listed Building and Conservation Area. Taking into account the benefits of enabling the re-use of this building, which has been vacant and deteriorating for many years, the less than substantial harm to the significance of the heritage assets resulting from the proposed extensions and alterations would be significantly outweighed by the public benefits of enabling the building to be brought back into use.

The original pedestrian entrance gate openings would be retained on Exchange Street and the proposed pedestrian access to School Street would not adversely impact upon the significance of the Listed Building, Conservation Area or the visual amenity of the area.

The proposed development is acceptable in terms of its impacts on the significance of the Listed Building, Conservation Area and visual amenity in accordance with policies ENV1 and ENV2.

## **Highways**

Amended plans have been received removing the proposed vehicular access and on-site car parking from the development due to issues of providing sufficient visibility whilst preserving the significance of the Listed Building and Conservation Area.

The site could currently be used for any use within Use Class D1 and has no off-street parking provision. Taking this into account together with its location in close proximity to the Town Centre of Colne and public car parks, it is not necessary to require the provision of off-street car parking for this development. The provision of on-site secure cycle storage would provide sufficient sustainable transport provision for the proposed additional floorspace created by the extensions, this can be required by condition.

The proposed development is acceptable in highway safety terms in accordance with policy ENV4.

## **Ecology**

Bat surveys have been undertaken and a bat roost has been established to be present within the building. The surveys conclude that the impacts on the roost can be mitigated by preserving the entrance to the roost or replacing the roost with a bat box. These works would require a licence from Natural England which can only be applied for following the grant of Planning Permission. It has been sufficiently demonstrated that the impacts on protected species can be acceptably mitigated and therefore, subject to a condition requiring the recommendations of the survey report to be implemented, the proposed development is acceptable in terms of its impact on ecology in accordance with Policy ENV1.

## **Other Issues**

Lancashire Constabulary have requested that numerous security measures are conditioned, taking into account that this application is for external alterations and extensions only, it is not necessary to require these by condition.

## **Reason for Decision**

Section 38 of the Planning and Compulsory Purchase Act 2004 requires that applications be determined in accordance with the development plan unless material considerations indicate otherwise. The proposed development is acceptable in terms of design, amenity, highway safety and impact upon ecology. The development therefore complies with the development plan. There is a positive presumption in favour of approving the development and there are no material reasons to object to the application.

### **RECOMMENDATION: Approve**

Subject to the following conditions:

1. The proposed development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**Reason:** Required to be imposed by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans: 050\_300, 050\_304 Rev A, 050\_305 Rev A, 050\_306 Rev A, 050\_307 Rev A, 050\_308 Rev A, 050\_309 Rev A, 050\_310 Rev B.

**Reason:** For the avoidance of doubt and in the interests of proper planning.

3. No development shall take place, including any works of demolition, until a construction method statement has been submitted to and approved in writing by the Local Planning Authority. The approved statement shall be adhered to throughout the construction period. It shall provide for:

- i) The parking of vehicles of site operatives and visitors
- ii) The loading and unloading of plant and materials
- iii) The storage of plant and materials used in constructing the development
- iv) Measures to control the emission of dust and dirt during construction
- v) A scheme for recycling/disposing of waste resulting from demolition and construction works
- vi) Details of working hours
- vii) Timing of deliveries
- viii) Measures to ensure that construction, delivery and site operatives' vehicles do not impede access to neighbouring properties.

**Reason:** In the interest of highway safety.

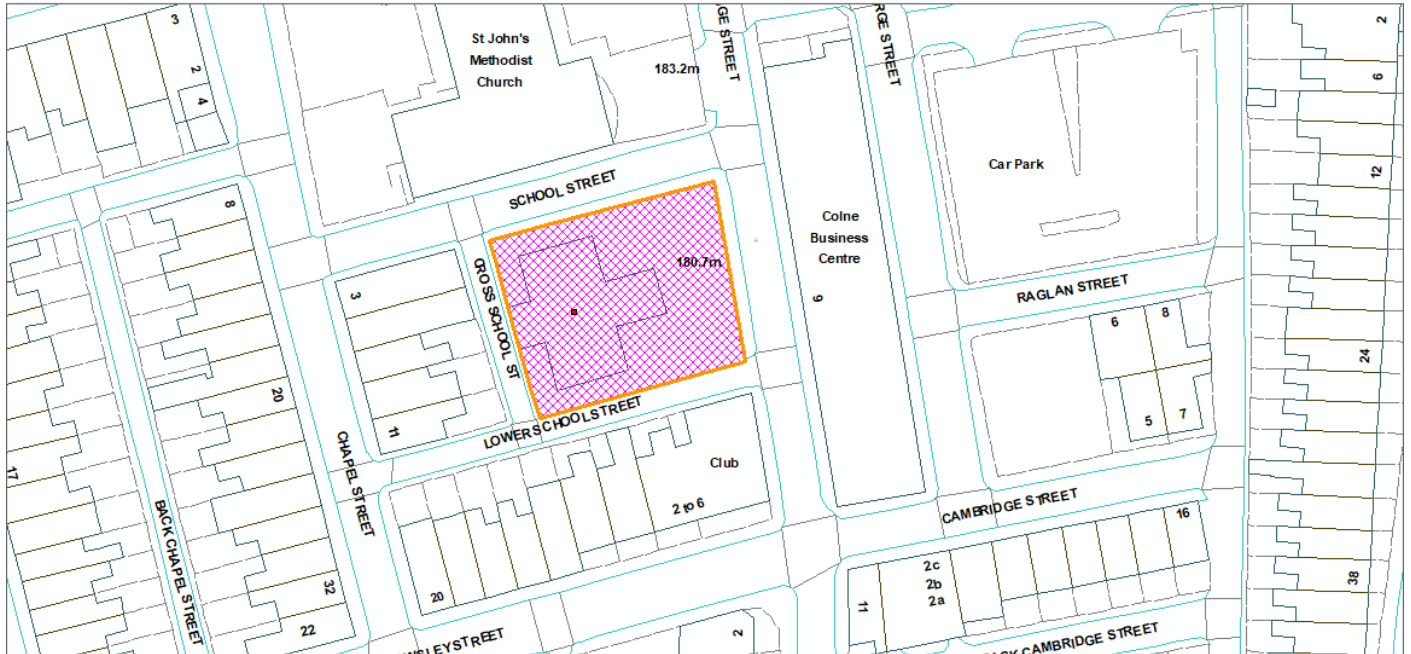
4. The use of the extensions hereby approved shall not commence unless and until cycle storage facilities have been provided in accordance with a scheme that has been submitted to and approved by the Local Planning Authority. The cycle storage facilities shall be maintained available for cycle storage purposes at all times thereafter.

**Reason:** For the provision of infrastructure for sustainable forms of transport.

Note: Cadent have identified operational gas apparatus within the application site boundary. This may include a legal interest (easements or wayleaves) in the land which restricts activity in proximity to Cadent assets in private land. The Applicant must ensure that proposed works do not infringe on Cadent's legal rights and any details of such restrictions should be obtained from the landowner in the first instance. If buildings or structures are proposed directly above the gas

apparatus then development should only take place following a diversion of this apparatus. The Applicant should contact Cadent's Plant Protection Team at the earliest opportunity to discuss proposed diversions of apparatus to avoid any unnecessary delays. If any construction traffic is likely to cross a Cadent pipeline then the Applicant must contact Cadent's Plant Protection Team to see if any protection measures are required. All developers are required to contact Cadent's Plant Protection Team for approval before carrying out any works on site and ensuring requirements are adhered to.

Email: [plantprotection@cadentgas.com](mailto:plantprotection@cadentgas.com) Tel: 0800 688 588



**Application Ref:** 19/0314/FUL

**Proposal:** Full: Erection of single storey extensions to rear, side (North) and front for Use Class D1 purposes, alterations to windows to all elevations and creation of pedestrian link from School Street.

**At:** Saint Bartholomews School, Exchange Street, Colne

**On behalf of:** Mosque Secretary Madina Mosque

## REPORT TO COLNE AND DISTRICT COMMITTEE ON 08 AUGUST 2019

**Application Ref:** 19/0316/LBC

**Proposal:** Listed Building Consent: Erection of single storey extensions to rear, side (North) and front, alterations to windows to all elevations and creation of pedestrian link from School Street.

**At:** Saint Bartholomews School, Exchange Street, Colne

**On behalf of:** Mosque Secretary Madina Mosque

**Date Registered:** 26/04/2019

**Expiry Date:** 02/07/2019

**Case Officer:** Alex Cameron

This application has been brought before Committee as more than two objections have been received.

### **Site Description and Proposal**

The application site is a grade II listed mid 19<sup>th</sup> century school building built in a 17th century vernacular style located within the Albert Road Conservation Area. The building underwent substantial internal alterations in the 1960s and few original internal features remain.

This application is for Listed Building Consent for internal and external alterations to the building comprising:

Erection of a single storey extension to the north side, a single storey extension to the rear (south west).

Replacement timber windows and doors and enlargement of an existing door opening in the north side of the building.

Internal refurbishment of the building.

Alterations to the boundary wall to form a pedestrian link from School Street.

### **Relevant Planning History**

13/01/0590P - Convert former school building to 7 residential flats and one warden's flat. Approved.

13/01/0693P - Conservation Area Consent to demolish scout building. Approved.

### **Consultee Response**

**PBC Conservation** – The building was listed at Grade II in 2004. It was built as a church school in 1844, in a 17th century vernacular style. It is an imposing 2-storey building, cruciform in plan, built of dressed and coursed sandstone beneath a blue/grey slate roof. It makes a positive contribution to the character and appearance of the Albert Rd CA. There is a strong symmetry to the design, which is a key element of its significance; the central projecting gable having a tall stone mullioned window, entrance doors for boys and girls, prominent stone kneelers to the gable ends and a small bell tower. The other wings are also gabled, with ranges of smaller mullioned windows, stone finials, kneelers and prominent chimney stacks. The rear wing was originally the caretaker's

house, later being incorporated into the school as it expanded, and a separate outbuilding was built against the northern and eastern boundary walls in the early C20th.

Substantial alterations to the interior were carried out in the 1960s when it was converted to a church hall; this including the removal of the original staircase and upper floor and replacement of most of the windows. Although the interior has been radically altered, the exterior still retains its early Victorian appearance and distinctive character. The building has a high perimeter wall in coursed rubble stone enclosing a stone flagged playground, with a pedimented double access gateway originally for boys and girls; this boundary wall adding to the significance of the whole composition.

A timber scout hut and other buildings built over part of the yard became derelict and have been removed in recent years. The listed building has been vacant and at risk for at least 20 years, and though there has been some vandalism, the external fabric still remains substantially intact. The building desperately needs a new use to prevent further deterioration of the fabric and to preserve it into the future. These proposals will enable the new owners to restore and repair the external elevations, including re-roofing, re-pointing, and new timber windows to reflect the pattern of the originals. To fully upgrade the internal spaces to facilitate the new use, modern fittings and subdivisions would be stripped out, and something closer to the original layout of the building would be restored, with the reinstatement of a first floor with separate classrooms, and a new staircase within the front wing behind the tall gable window.

Together with repairs, reinstatements and internal fitting out, the proposals include new stone-built single-storey extensions in a simple contemporary style, over the areas previously occupied by outbuildings. Several alternative designs were developed and discussed at pre-application stage, however the optimum siting for the additional accommodation required was considered to be on the footprint of the former outbuildings, set against the side boundary wall, and therefore essentially concealed when viewed from outside the site. A simple and contemporary single storey building in matching natural stone with flat zinc sheet roof would be linked to the corner of the listed building by means of a transparent glazed entrance lobby section with glass walls, doors and roof. This would enable the form of the original building and the important front elevation to remain clearly visible, in order to minimise any adverse impact on the significance of the LB.

The submitted Heritage Impact Assessment sets out the heritage significance and history of the building and the impact of the proposals on that significance, which essentially lies in the age of the building, its historical importance to the town, and architecturally in the main external shell. Internally the building has been gutted and is of very limited significance, save for the remaining roof trusses, which would be preserved in situ. The report concludes that the proposals will preserve and enhance the significance of the building through restoring its first floor, refurbishing its structure, and ensuring its long term future through providing it with an optimum viable re-use for educational purposes.

I consider that the significance of the building and the Conservation Area would be preserved, subject to the use of high quality materials, finishes and design detailing in both the conversion and the new extensions.

In addition the following amendments should be sought -

- The fully glazed lobby area should be extended around the corner of the LB right up to the internal double doors, in order to fully reveal the masonry and form of the building and to enable additional visual separation between old and new buildings (as previously?)
- Re-order the fenestration on the front of the new build to introduce groups of mullioned windows rather than single windows (as previously).
- The boundary walls to School St and Cross School St should be rebuilt with rubble stone (not squared), with rounded stone coping detail as existing. Barge boards should be omitted (condition?)



- Internal lining walls should be cut back to fully reveal stone surrounds to windows and doors, (not boxed in); stone sills/surrounds should be exposed stone finish. Stone surrounds should be retained to the two ground floor windows to be blocked up, adjacent to the plant room extension. Existing stone window surrounds should be retained for the new doorway between lobby and prayer room
- Is there a ceiling to the 1st floor and a loft floor (no plan?). If so, the ceiling needs to fully reveal the stone window surrounds. Could 1st floor be open to underside of roof to reveal the trusses?
- External doors should be timber vertical boarded, not panelled (condition?)

Additional conditions are required to control detailed design and finish of new windows, all new stonework (ashlar plinth with dressed stone above), slates, bespoke glazing system for lobby, stone cleaning and repointing, zinc roofing design, rain water goods, rooflights (recessed conservation type with vertical mullion), internal doors/casing and staircase, design of vehicle/pedestrian entrance stone gateposts and gates.

Additional comments in response to amended plans:

Most of the points made have been satisfactorily addressed in the amended plans – window grouping on the extension, boundary walls stone and coping detail, ceiling height increased to reveal base of roof truss, and external door design.

Re the extent of the new glazed lobby section, I was not suggesting that the glazed roof section be carried around to fully expose the whole gable end of the building – merely around the corner of the building and up to the new partition wall which encloses the main lobby area. This would then better define the lobby space and avoid a potentially awkward join between solid and glazed roof in the middle of the room.

Regarding window reveals internally, the amended plans are acceptable.

**Colne Town Council** - Colne Town Council is supportive of this application subject to improved fenestration pattern to the extension, reinstatement of boundary walls with correct coursing and coping detail, and treatment of window reveals internally.

### **Public Response**

A press and site notice have been posted and nearest neighbours notified – A number of responses have been received referring to the application as being for a mosque. This application is for Listed Building Consent for extensions and alterations only.

Responses received, including a petition with over 1,300 signatures, objecting on the following grounds:

- Lack of necessity for the proposed development.
- Concerns about noise and disturbance.
- Inadequate parking provision.
- Highway safety and traffic concerns.
- The proposed development would cause harm to the character and appearance of the Listed Building and area.
- No arrangements are in place to deal with recycling of waste.
- The proposed CCTV security does not specify location, and raises questions of data protection, and who will be filmed and recorded and data retention policies are not expressed.

Responses received supporting the development for the following reasons:

- The building has been derelict for many years, without this development the building will continue to deteriorate.
- The adjacent mosque proposing the development has been established for a number of years without issues.
- There is ample parking surrounding the building and any potential parking issues could be sufficiently addressed informally.
- The proposed development is necessary to support the needs of the community.

## **Officer Comments**

### **Policy**

#### **Replacement Pendle Local Plan**

Policy 4D (Natural Heritage - Wildlife Corridors, Species Protection and Biodiversity) States that development proposals that would adversely impact or harm, directly or indirectly, legally protected species will not be permitted, unless shown to meet the requirements of The Conservation (Natural Habitats, &c.) Regulations 1994.

#### **Pendle Local Plan Part 1: Core Strategy**

Policy ENV1 states that the historic environment and heritage assets of the borough (including Listed Buildings, Conservation Areas, Scheduled Monuments, non-designated assets and archaeological remains), including and their settings, will be conserved and where appropriate should be enhanced.

Policy ENV2 states that all new development should seek to deliver the highest possible standards of design, in form and sustainability, and be designed to meet future demands whilst enhancing and conserving heritage assets.

### **Design and Heritage Impact**

The internal refurbishment of the building would acceptably preserve its significance, taking into account that the building underwent extensive unsympathetic internal alterations in the 1960, removing the majority of its original features.

The proposed extensions are of a simple contemporary style and would not be prominent from outside of the site. They would be approximately level with the height of the existing boundary walls that would be replaced with their back walls replicating those sections of the existing boundary walls.

Whilst the glazed entrance would provide some visual separation between the extension and the corner of the cruciform layout building, it has been advised that the glazed element should continue round the corner of the building to better define the lobby space and avoid a potentially awkward join between solid and glazed roof. This has been requested but the agent has indicated that it would be financially unviable.

The proposed extension would result in minor harm to the significance of the Listed Building. Taking into account the benefits of enabling the re-use of this building, which has been vacant and deteriorating for many years, the less than substantial harm to the significance of the Listed Building resulting from the proposed extensions and alterations would be significantly outweighed by the public benefits be enabling it to be brought back into use.

The original pedestrian entrance gate openings would be retained on Exchange Street and the proposed pedestrian access to School Street would not adversely impact upon the significance of the Conservation Area or the visual amenity of the area.

With suitable conditions to control their details the proposed works are acceptable in terms of their impacts on the significance of the Listed Building in accordance with policies ENV1 and ENV2.

## **Ecology**

Bat surveys have been undertaken and a bat roost has been established to be present within the building. The surveys conclude that the impacts on the roost can be mitigated by preserving the entrance to the roost or replacing the roost with a bat box. These works would require a licence from Natural England which can only be applied for following the grant of Planning Permission. It has been sufficiently demonstrated that the impacts on protected species can be acceptably mitigated and therefore, subject to a condition requiring the recommendations of the survey report to be implemented, the proposed works are acceptable in terms of their impact on ecology in accordance with Policies ENV1 and 4D.

## **Reason for Decision**

In accordance with Section 66 of the Planning (Listed Buildings and Conservation) Act 1990, special regard has been made to the desirability of preserving the special historic or architectural interest of the building. The minor harm to the significance of the Listed Building would be outweighed by the public benefits of the works and as such there is no reason to refuse consent.

## **RECOMMENDATION: Approve**

Subject to the following conditions:

1. The works approved shall be begun before the expiration of three years from the date of this consent. No later than three days after works first begin on site, written notice shall be given to the Local Planning Authority of the date on which works are first commenced.

**Reason:** To comply with Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990, and to ensure the Local Planning Authority is informed of the commencement of the first works on the site.

2. The works hereby approved shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers: 050\_300, 050\_304 Rev A, 050\_305 Rev A, 050\_306 Rev A, 050\_307 Rev A, 050\_308 Rev A, 050\_309 Rev A, 050\_310 Rev B.

**Reason:** For the avoidance of doubt

3. The works shall not commence unless and until samples of new and replacement external materials to be used in the walls and roofs of the works hereby approved have been submitted to and approved in writing by the Local Planning Authority. The works shall thereafter be carried out in strict accordance with the approved materials.

**Reason:** To protect the significance of the Listed Building.

4. The works shall not commence unless and until details of the glazing system for the lobby has been submitted to and approved in writing by the Local Planning Authority. The works shall thereafter be carried out in strict accordance with the approved details.

**Reason:** To protect the significance of the Listed Building.

5. No stone cleaning or repointing works shall commence unless and until details of those works, including details of the mortar mix, have been submitted to and approved in writing by the Local Planning Authority. The works shall thereafter be carried out in strict accordance with the approved details.

**Reason:** To protect the significance of the Listed Building.

6. All new or replacement rainwater goods, soil pipes and flues shall be cast iron or aluminium and finished in black, details of any new or replacement rainwater goods, soil pipes and flues shall be submitted to and approved in writing by the Local Planning Authority prior to their installation. The works shall thereafter be carried out in strict accordance with the approved details.

**Reason:** To protect the significance of the Listed Building.

7. Details of all new and replacement window frames and doors and rooflights, including cross-sectional plans and/or samples, and details of finish and colour, shall be submitted to and approved in writing by the Local Planning Authority prior to their installation. The works shall thereafter be carried out in strict accordance with the approved details.

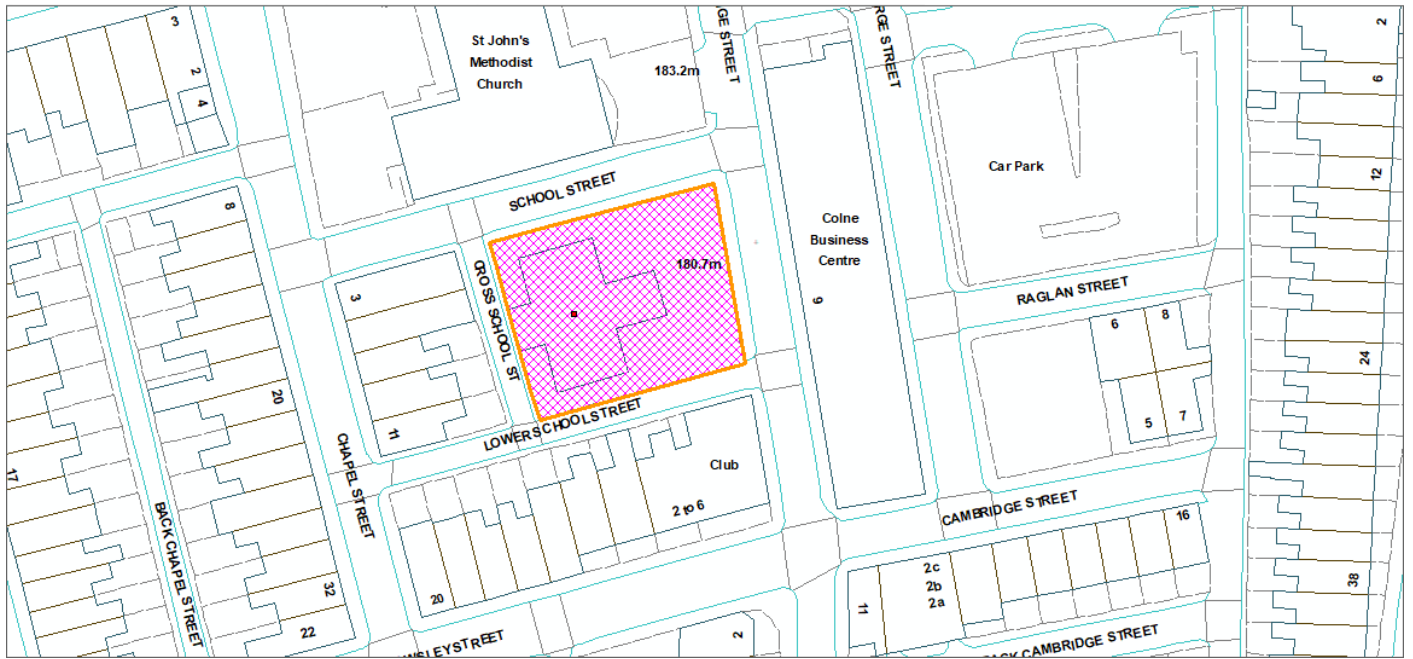
**Reason:** To protect the significance of the Listed Building.

8. Details of the proposed pedestrian access gate to School Street, including the design of the gate and gateposts and the materials and finishes, shall be submitted to and approved in writing by the Local Planning Authority prior to the works to form the pedestrian access. The works shall thereafter be carried out in strict accordance with the approved details.

**Reason:** To protect the significance of the Listed Building.

9. The works shall only be carried out in strict accordance with the recommendations of Dawn and Dusk Emergence Bat Survey Reports received 23/07/2019. A Bat Method Statement in accordance with the reports' recommendations shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of the works. The works shall be carried out and thereafter maintained in strict accordance with the approved method statement.

**Reason:** To ensure protection of the habitat of protected species.



**Application Ref:** 19/0316/LBC

**Proposal:** Listed Building Consent: Erection of single storey extensions to rear, side (North) and front, alterations to windows to all elevations and creation of pedestrian link from School Street.

**At:** Saint Bartholomews School, Exchange Street, Colne

**On behalf of:** Mosque Secretary Madina Mosque

## REPORT TO COLNE AND DISTRICT COMMITTEE ON 8<sup>TH</sup> AUGUST 2019

**Application Ref:** 19/0375/FUL  
**Proposal:** Full: Erection of single storey dwelling with associated parking.  
**At:** Great Hey Farm, Hill Top, Foulridge  
**On behalf of:** Mr Brian Curran  
**Date Registered:** 05.07.2019  
**Expiry Date:** 30.08.2019  
**Case Officer:** Charlotte Pinch

### **Site Description and Proposal**

The application is brought to committee as it has received more than 3 objections.

The application site comprises of an existing residential property located within a rural setting, designated as Open Countryside.

The proposal is for the erection of a single storey building, for the use as residential holiday let. It would comprise of two bedrooms, two bathrooms, lounge/diner/kitchen and its own on plot parking and garden area.

### **Relevant Planning History**

19/0370/FUL

Full: Change of use to extend existing house into adjacent barn, external alterations and erect single extension to east elevation.

Approved with Conditions. 2019.

### **Consultee Response**

#### LCC Highways

Having considered the information submitted, the above proposal raises no highway concerns. Adequate parking and manoeuvring areas have been provided on site for the type and size of development proposed. Therefore the Highway Development Support Section would raise no objection to the proposal on highway safety grounds.

#### United Utilities

##### **Drainage**

United Utilities does not provide wastewater services in this area.

##### **Water supply**

If the applicant intends to obtain a water supply from United Utilities for the proposed development, we strongly recommend they engage with us at the earliest opportunity. If reinforcement of the water network is required to meet the demand, this could be a significant project which should be accounted for in the project timeline for design and construction.

To discuss a potential water supply or any of the water comments detailed above, the applicant can contact the team at [DeveloperServicesWater@uuplc.co.uk](mailto:DeveloperServicesWater@uuplc.co.uk).

Please note, all internal pipework must comply with current Water Supply (water fittings) Regulations 1999.

### **United Utilities' property, assets and infrastructure**

Where United Utilities' assets exist, the level of cover to the water mains and public sewers must not be compromised either during or after construction.

It is the applicant's responsibility to investigate the possibility of any United Utilities' assets potentially impacted by their proposals and to demonstrate the exact relationship between any United Utilities' assets and the proposed development.

A number of providers offer a paid for mapping service including United Utilities. To find out how to purchase a sewer and water plan from United Utilities, please visit the Property Searches website; <https://www.unitedutilities.com/property-searches/> . You can also view the plans for free. To make an appointment to view our sewer records at your local authority please contact them direct, alternatively if you wish to view the water and the sewer records at our Lingley Mere offices based in Warrington please ring 0370 751 0101 to book an appointment.

Due to the public sewer transfer in 2011, not all sewers are currently shown on the statutory sewer records and we do not always show private pipes on our plans. If a sewer is discovered during construction; please contact a Building Control Body to discuss the matter further.

For any further information regarding Developer Services and Planning, please visit our website at <http://www.unitedutilities.com/builders-developers.aspx>

### **Public Response**

Four letters of objection were received from neighbouring occupiers, three were from separate properties, their comments can be summarised as follows:

- Unadopted single track narrow access road to the site, which would struggle to any additional vehicular traffic.
- The owner of the access track has not been notified and contributions towards the improvement of this track should be made.
- Access to B6521 is on a dangerous blind bend.
- Granting of a holiday home may lead to further larger development.
- Undesirable encroachment into the open countryside.
- Noise and disturbance from holiday home, as well as additional structures such as goal posts.
- The main access track is a popular right of way, by many walkers and tourists.
- Change of use of land from 'agriculture' to 'garden'.
- The building is in an obtrusive position and the colour/materials are not appropriate.

A letter of response was received, on behalf of the applicants, which made the following comments:

- No intention of encouraging disturbances to neighbours as a result of this holiday home.
- There would only be a slight increase in traffic and no objections have been raised by LCC Highways.
- Open to altering the materials if necessary.
- The proposal is for a single storey building, which would be located in such a position to have minimal impacts on the neighbours.
- No intention on extending the holiday home in the future or adding additional holiday homes.

## **Officer Comments**

### **Policy**

#### **Pendle Local Plan Part 1: Core Strategy**

Policy ENV1 (Protecting and Enhancing Our Natural and Historic Environments) requires developments to make a positive contribution to the protection, enhancement, conservation and interpretation of our natural and historic environments.

Policy ENV2 (Achieving Quality in Design and Conservation) sets out the design standards for development within the Borough.

Policy WRK5 (Tourism, Leisure and Culture) supports proposals for new or improved tourism facilities there they meet the criteria set out and are sustainable and of an appropriate scale.

#### **Replacement Pendle Local Plan**

Saved Policy 31 'Parking' supports car parking in new developments in line with the Maximum Car and Cycle Parking Standards.

Saved Policy 40 'Tourism' supports new tourist facilities in rural areas that are of appropriate scale and re-use an existing building of traditional construction or will redevelop within the footprint of an existing building in the open countryside without the need for large scale extensions.

#### **National Planning Policy Framework**

The Framework states that the purpose of the planning system is to contribute to the achievement of sustainable development. It states that there are three dimensions to sustainable development: economic, social and environmental. The policies in the Framework, taken as a whole, constitute the Government's view of what sustainable development in England means in practice for the planning system.

Supplementary Planning Guidance: Development in the Open Countryside 2002.

### **Principle of Development**

The application site is located within the Open Countryside, outside the settlement boundary of Foulridge. However, the site is located within an established group of dwellings and is not isolated. Therefore, Paragraph 79 of the NPPF does not apply and the principle of a new dwelling is acceptable in this location.

Moreover, Policy WRK5 states that the provision of new or improved facilities for tourism, including accommodation for visitors, will be supported provided it meets certain criteria. This includes aspects such as the promotion of sustainable tourism, help improve the quality and diversity of tourism on offer, are of an appropriate scale and will not affect the natural environment and encourage sustainable modes of transport such as walking and cycling.

This proposal is for a holiday let, which is of a small scale and well positioned amongst existing dwellings. The site is directly adjacent to a number of footpaths and near to popular cycle routes. This proposal is therefore acceptable in accordance with Policy WRK5.



## **Residential Amenity**

Whilst the site is relatively well screened, it is visible from nearby properties and gardens, which are not the applicants. However, the building would be sited 20 metres from the boundary of the closest property and over 40 metres from the property itself to the west.

The building would comprise of one unit, consisting of two bedrooms, within a single storey building. It would be used residentially for holiday purposes, which can be secured by condition. Given the small scale of the building, it is not anticipated more than 1 small family would occupy the building at any one time, which would be in keeping with the residential use of surrounding properties.

As a result, the proposal would not result in unacceptable amenity impacts on surrounding dwellings and is therefore acceptable.

## **Visual and Landscape Impact**

The proposed site of the dwelling is to the east of the existing garage and south east of the main dwelling house. It would be largely screened from public view by existing built form, as well as an existing hedgerow to the north and east of the proposed building. Where it is publically visible, from the nearby footpath or neighbouring properties, it would not appear prominent or isolated, as a single storey building with a back drop of existing dwellings. Details of external materials, can be secured by condition. Moreover, it would not harm the visual amenity or landscape character of the area.

## **Highway Safety**

Adequate car parking provision and manoeuvring space can be accommodated within the applicant's land ownership. The access road serves a number of dwellings and is adequate to accommodate the additional traffic that would be generated by the addition of one holiday let.

## **Ecology**

The site is not within or affecting a Site of Special Scientific Interest or any other ecological designation. The proposed development affects a small corner of a cultivated field and has no potential adverse ecological impacts that would necessitate further assessment.

## **Reason for Decision**

Section 38 of the Planning and Compulsory Purchase Act 2004 requires that applications be determined in accordance with the development plan unless material considerations indicate otherwise. The erection of a holiday let is acceptable in this location in terms of impact on the open countryside subject to appropriate conditions. The development therefore complies with the development plan. There is a positive presumption in favour of approving the development and there are no material reasons to object to the application.

## **RECOMMENDATION: Approve**

Subject to the following conditions:

1. The development must be begun not later than the expiration of three years beginning with the date of this permission.

**Reason:** In order to comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (As Amended).

2. The building shall be occupied for holiday purposes only:
  - (1) the building shall not be occupied as a person's sole or main place of residence.
  - (2) the owner/operator shall maintain an up-to-date register of the names of all residents of the unit and their main home addresses, and shall make this information available at all reasonable time to the Local Planning Authority.

**Reason:** In order to ensure the proper control of the use of the holiday units and to prevent the establishment of permanent residency.

3. The development hereby permitted shall be carried out in accordance with the following approved plans:

ADM/19/15/03, ADM/19/15/02 and ADM/19/15/01.

**Reason:** For the avoidance of doubt and in the interests of proper planning.

4. Prior to the commencement of the development samples of all the external materials to be used in the development, including roofing, wall cladding, doors, windows and decking shall be submitted to and approved in writing by the Local Planning Authority. The development shall thereafter be carried out in strict accordance with the approved details.

**Reason:** To enable the Local Planning Authority to control the materials to be used on the proposed development and ensure that they are appropriate for this location.

5. Prior to the commencement of development details of a scheme of disposal of foul and surface water shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall provide for separate systems for foul and surface waters and be constructed and completed in accordance with the approved plans before the unit is first occupied.

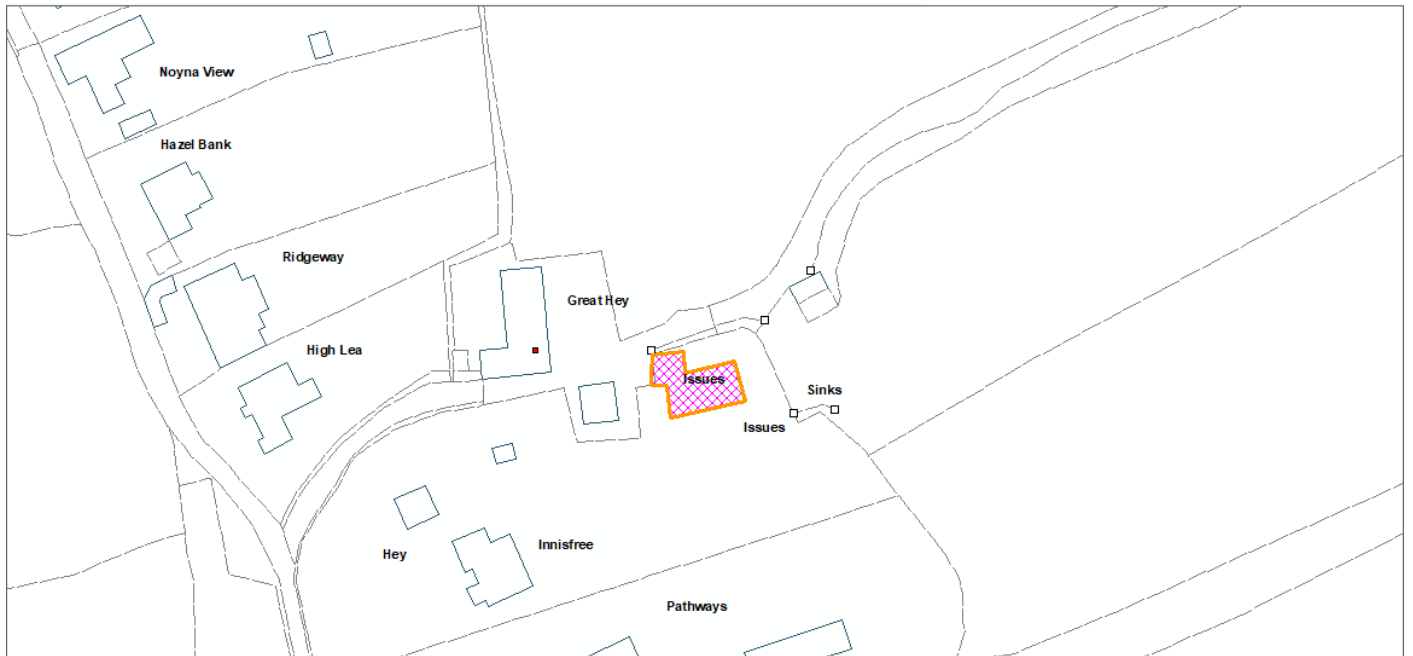
**Reason:** To control foul and surface water flow disposal and prevent flooding.

6. The proposed development shall not be brought into use unless and until the car parking provision has been constructed, surfaced, sealed, drained and marked out in accordance with approved plan ADM/19/15/02. The two parking spaces and turning area shall thereafter always remain unobstructed and available for parking and turning purposes.

**Reason:** In order to provide sufficient off street parking for the development in the interests of highway safety.

7. Notwithstanding the provisions of Article 3 and Parts 1 and 2 of the Second Schedule of the Town and Country Planning (General Permitted Development) Order 2015 (or any Order revoking or re-enacting that Order with or without modification), no development as specified in Classes A,B,C,D,E,F and G of Part 1 and Classes A,B and C of Part 2 of Schedule 2 of that Order shall be carried out without the express planning permission first being obtained from the Local Planning Authority.

**Reason:** To enable the Local Planning Authority to control any future development on the site in order to safeguard the setting of the Open Countryside.



**Application Ref:** 19/0375/FUL

**Proposal:** Full: Erection of single storey dwelling with associated parking.

**At:** Great Hey Farm, Hill Top, Foulridge

**On behalf of:** Mr Brian Curran

## REPORT TO COLNE AND DISTRICT COMMITTEE ON 8<sup>TH</sup> AUGUST 2019

**Application Ref:** 19/0430/FUL  
**Proposal:** Full: Erection of a detached dwellinghouse with garage.  
**At:** 17 White Lee Avenue, Trawden.  
**On behalf of:** Mr S Hardman  
**Date Registered:** 25.06.2019  
**Expiry Date:** 20.08.2019  
**Case Officer:** Charlotte Pinch

### **Site Description and Proposal**

The application is brought to committee as it has received more than 3 objections.

The site is a domestic garden to the side of a detached dwelling located on White Lee Avenue within the settlement of Trawden and Trawden Forest Conservation Area. The houses on White Lee Avenue were constructed in the 1990s, they consist of a mixture of semi-detached and detached houses of artificial stone construction with concrete roof tiles and timber fenestration.

The proposed development is the erection of a three bedroom detached dwelling, within the garden to the south side of No.17. The proposed house would have a total footprint of 7.7m by 13m, which includes a single storey element at the rear. The dwelling would have an eaves height of 5.2m and ridge height of 8.6m. It would be constructed from artificial stone, with a concrete tile roof.

A very similar proposal was approved in 2014 for a detached dwelling on this plot. During the course of this application, revised plans were received making amendments to the size and design of the dwelling. It has been reduced from 5 to 3 bedrooms, reduced in width and height, as well as slight alterations to window configurations. The assessment of the application will be based on the revised plans, received on 29<sup>th</sup> July 2019.

### **Relevant Planning History**

13/13/0574P  
Full: Erection of a detached dwellinghouse.  
Approved with Conditions. 2014.

### **Consultee Response**

#### LCC Highways

There is a previously approved application for a new dwelling on this site under application reference 13.13.0574P.

The verge along the frontage of the site is classed as a service verge therefore a number of underground services should be anticipated and protected during the construction phase.

I note that there is no condition on the previous approval for a construction traffic management plan however I do anticipate that there will be difficulties with access for material delivery vehicles and parking for trade vehicles. Therefore I would recommend a condition is placed on this application to manage and minimise the disruption.

## Environment Agency

The application boundary has been amended and it no longer falls within Flood Zone 3, removing the need for a Flood Risk Assessment (FRA) to be submitted as part of the application.

## United Utilities

### **Drainage**

In accordance with the National Planning Policy Framework (NPPF) and the National Planning Practice Guidance (NPPG), the site should be drained on a separate system with foul water draining to the public sewer and surface water draining in the most sustainable way.

The NPPG clearly outlines the hierarchy to be investigated by the developer when considering a surface water drainage strategy. We would ask the developer to consider the following drainage options in the following order of priority:

1. into the ground (infiltration);
2. to a surface water body;
3. to a surface water sewer, highway drain, or another drainage system;
4. to a combined sewer.

We recommend the applicant implements the scheme in accordance with the surface water drainage hierarchy outlined above.

If the applicant intends to offer wastewater assets forward for adoption by United Utilities, the proposed detailed design will be subject to a technical appraisal by an Adoptions Engineer as we need to be sure that the proposal meets the requirements of Sewers for adoption and United Utilities' Asset Standards. The proposed design should give consideration to long term operability and give United Utilities a cost effective proposal for the life of the assets. Therefore, should this application be approved and the applicant wishes to progress a Section 104 agreement, we strongly recommend that no construction commences until the detailed drainage design, submitted as part of the Section 104 agreement, has been assessed and accepted in writing by United Utilities. Any works carried out prior to the technical assessment being approved is done entirely at the developers own risk and could be subject to change.

### **Water supply**

If the applicant intends to obtain a water supply from United Utilities for the proposed development, we strongly recommend they engage with us at the earliest opportunity. If reinforcement of the water network is required to meet the demand, this could be a significant project which should be accounted for in the project timeline for design and construction.

### **United Utilities' property, assets and infrastructure**

The applicant should be aware of water mains in the vicinity of the proposed development site. Whilst this infrastructure is located outside the applicant's proposed red line boundary, the applicant must comply with our 'Standard Conditions for Works Adjacent to Pipelines'. We provide this information to support the applicant in identifying the potential impacts from all construction activities on United Utilities infrastructure and to identify mitigation measures to protect and prevent any damage to this infrastructure.

A public sewer crosses this site and we may not permit building over it. We will require an access strip width of six metres, three metres either side of the centre line of the sewer which is in accordance with the minimum distances specified in the current issue of "Sewers for Adoption", for maintenance or replacement. Therefore a modification of the site layout, or a diversion of the affected public sewer at the applicant's expense, may be necessary.

It is the applicant's responsibility to investigate the possibility of any United Utilities' assets potentially impacted by their proposals and to demonstrate the exact relationship between any United Utilities' assets and the proposed development.

### Trawden Forest Parish Council

Object to the proposed development. It appears to be very close to the neighbouring property (No.17). There are 3 parking spaces provided, however the Neighbourhood Plan recommends 4 for the number of bedrooms proposed. We believe there are already parking issues on White Lee Avenue.

The height of the property's roof is double that of the house, it should be in keeping with the existing properties to either side of the development and be no higher than these. The application states that it will have UPVC windows, these should be wooden as it is within a Conservation Area. Some of the site also falls within a Flood Zone.

### **Public Response**

Five letters of objection were received from neighbouring occupiers, their comments can be summarised as follows:

- There have been a number of changes in policy since the previous application was approved in 2014. These include TFNP, Policy 3 (Housing Windfall) and Policy 4 (Parking).
- Loss of private garden amenity space for residents of No.17.
- Openness of the estate would be severely compromised.
- Existing parking issues within the estate would be exacerbated by this additional property.
- Dwelling would not be the required 1 metre from the side boundaries of the site.
- Ridge height is 1.5 metres higher than adjacent dwellings, which is out of keeping.
- The single storey element at the rear contravenes the 45 degree rule.
- There are no other examples of three storey properties within White Lee Avenue.
- Construction works will cause severe disruption and inconvenience.
- Three storeys would result in overlooking and loss of privacy to adjacent neighbours.

### **Officer Comments**

#### **Policy**

#### **Pendle Local Plan Part 1: Core Strategy**

Policy SDP1 (Presumption in Favour of Sustainable Development) sets out the presumption in favour of sustainable development which runs through the plan.

Policy SDP2 (Spatial Development Principles) states that new development within settlement boundaries will be supported. Rural Service Centres, including Trawden, will provide the focus for growth in Rural Pendle.

Policy ENV1 (Protecting and Enhancing Our Natural and Historic Environments) states that the historic environment and heritage assets of the borough (including Listed Buildings, Conservation Areas, Scheduled Monuments, non-designated assets and archaeological remains), including and their settings, will be conserved and where appropriate should be enhanced.

Policy ENV2 (Achieving Quality in Design and Conservation) All new development should viably seek to deliver the highest possible standards of design, in form and sustainability, and be designed to meet future demands whilst enhancing and conserving our heritage assets.

## Replacement Pendle Local Plan

Policy 31 of the Replacement Pendle Local Plan sets out the maximum parking standards for development.

## Trawden Forest Neighbourhood Plan (2018-2030)

Policy 1 (Location of Development) Development proposals within the settlement boundaries will be supported provided that they are appropriate in scale, massing and character.

Policy 3 (Housing Windfall Sites) Within the settlement boundaries proposals for residential development which comprise none or fewer net additional dwellings will be supported, provided their design accords with certain principles.

Policy 4 (Parking) Opportunities that arise to address a recognised local parking shortfall or safety issue relating to on street parking will be supported. For a detached property of 3 bedrooms, a minimum of 2 on plot parking spaces should be provided, with a recommendation of 3.

## National Planning Policy Framework

The Framework states that the purpose of the planning system is to contribute to the achievement of sustainable development. It states that there are three dimensions to sustainable development: economic, social and environmental. The policies in the Framework, taken as a whole, constitute the Government's view of what sustainable development in England means in practice for the planning system.

Conservation Area Design and Development Guidance. Supplementary Planning Document. 2008.

### **Principle of Development**

The application site sits within the settlement boundary of Trawden, within walking distance of essential services and public transport, this is therefore a sustainable location for the purposes of the Framework.

Paragraph 70 of the NPPF states that local planning authorities should consider the case for setting out policies to resist inappropriate development of residential gardens, for example where development would cause harm to the local area. This is echoed by Policy 3 of the TFNP, which states redevelopment of residential gardens to provide additional supported is not supported where the proposal is of a form or density which would cause harm to the amenities of the surrounding dwellings. This would not be the case here, therefore the location accords with Policy and the principle of residential development on the site is acceptable.

### **Design**

Paragraphs 124 through to 132 of the NPPF contain guidance on providing a wide variety of homes and requiring good design. Policies ENV2 of the Local Plan Part 1 reiterates these points and are relevant in the determination of this application.

Although the layout of the houses at the northern end and west side of White Lee Avenue are quite tightly spaces, there are wide gaps between Nos. 15-19. This spacing appears to be as a result of a sewer which crosses the gardens, rather than being a design feature of the development.

Some concerns have been raised regarding a lack of private amenity space for the proposed dwelling and the existing No.17. There is no requirement for a specific level of private amenity space to be provided within current planning policy or related guidance, although it is typically

expected that a house should have sufficient space to store bins and hang out washing. The proposed dwelling would have more than adequate amenity space to meet those needs.

The proposed house would be separate from the side of No.17 by 2m and No.19 by 1.3m. In addition to the stepped levels of the properties would be sufficient to ensure an acceptable level of visual separation between the houses and would be similar to the spacing between many other properties on White Lee Avenue.

The dwelling would be two storeys and have a maximum height of 8.6m, this is lower than that approved in 2014 and would respect the existing ridge heights of adjacent properties. Moreover, the style of the dwelling is carefully in keeping with those of the existing properties, with a traditional equal apex roof form.

It is acknowledged that the gap between Nos. 15, 17 and 19 currently provide views of Trawden Brook and the countryside beyond from the road and properties on the opposite side of the Avenue. However, private views are not ones that can be protected through the planning system and the loss of this view has no material impact on public views of the countryside.

The site is within the Trawden Forest Conservation Area, which is a designated heritage asset. The development itself is located within a relatively modern housing estate, however it does not have any historic interest or contribute positively to the heritage asset. The introduction of a further house into the street scene, will have no significant detrimental impact on the heritage asset.

The design of the proposed house would be in keeping with the adjacent properties. It would be constructed from artificial stone with a concrete tile roof. Although these are not materials which are typically appropriate within a Conservation Area, they would match those of the rest of White Lee Avenue. Taking this into account, it would not harm the character and appearance of the Conservation Area.

The proposed development is therefore acceptable in terms of design and visual amenity and would not harm the character and appearance of the Conservation Area, in accordance with Policy ENV2.

### **Residential Amenity**

This application proposes the erection of one, two storey detached dwelling, on land adjacent to existing properties. Windows to the front of the proposed dwelling would have a separation distance of 17 metres from dwellings on the opposite side of the Avenue. This replicates the existing relationship of Nos. 17 and 19 with the properties opposite across a public highway, therefore providing an acceptable level of privacy for both existing and the proposed dwelling.

Two first floor side facing windows are proposed on the dwelling, however these would serve a bathroom and landing, therefore can be obscure glazed by condition. There are no side facing windows on No.19 and just one set of patio doors on No.17, however taking into account proposed separation distances and that the room is served by other windows, this relationship is acceptable in terms of amenity.

The development proposes a single storey element at the rear of the property, with a depth of 3.6 metres. This is 0.4 metres shallower than that approved in 2014 and would not result in a loss of light to rear facing habitable room windows at No. 17 or 19. However, due to the nature of the site, it is necessary to attach a condition removing permitted development rights for the property, to ensure it is not extended any further to the rear without permission.

The proposed development is therefore acceptable in terms of residential amenity, in accordance with Policy ENV2.



## Highways and Parking

The proposed comprises of one, three bedroom detached dwelling, therefore in accordance with Policy 31, a total of two on plot parking spaces would be required. Moreover, Policy 4 of the TFNP recommends a 3 bedroom property should provide a minimum of 2 on plot spaces, but 3 is recommended.

The plans submitted show two driveway parking spaces to the front of the dwelling, in addition to a third parking space within the integral garage. This would provide adequate provision in accordance with Policy 31 and Policy 4 of the TFNP.

## Drainage and Flooding

United Utilities have noted that a sewer runs near the site and an easement of 3m either side is required. The plans show the location of the sewer and the area left as an easement, this does not affect the siting of the proposed house.

Comments have been made regarding potential flooding and the impact of Flood Zones on the development. Although part of the red edge site lies within Flood Zone 3, the Environment Agency have raised no objection on the basis that the proposed dwelling itself is within Flood Zone 1.

## Protected Trees

No protected trees would be directly affected by the proposed house, however, a condition is required to ensure protective fencing is erected around two protected trees in the rear garden of No.17 during construction.

## Reason for Decision

Section 38 of the Planning and Compulsory Purchase Act 2004 requires that applications be determined in accordance with the development plan unless material considerations indicate otherwise. The proposed housing development would accord with Local Planning Policy and would be compliant with the guidance set out in the Framework. The development therefore complies with the development plan. There is a positive presumption in favour of approving the development and there are no material reasons to object to the application.

## RECOMMENDATION: Approve

Subject to the following conditions:

1. The proposed development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**Reason:** In order to comply with the requirements of Section 91 of the Town & Country Planning Act 1990 (As Amended).

2. The development hereby permitted shall be carried out in accordance with the following approved plans: CAL2019004001 RevB, Location Plan 1:1250

**Reason:** For the avoidance of doubt and in the interests of proper planning.

3. Prior to the commencement of development samples of the external materials to be used in the construction of the roof, walls and window mullions/surrounds of the development hereby permitted (notwithstanding any details shown on previously submitted plans and specification)

shall be submitted to and approved in writing by the Local Planning Authority. The development shall thereafter at all times be carried out in strict accordance with the approved materials and details.

**Reason:** To ensure a satisfactory form of development in the interest of visual amenity of the area.

4. No development hereby permitted shall commence unless and until a scheme for the disposal of foul and surface water drainage has been submitted to and approved in writing by the Local Planning Authority. The scheme shall provide for foul and surface water to be on separate systems and include details of the flow attenuation measures for the surface water disposal system including final run-off rates. The approved scheme shall be installed in its entirety prior to first occupation of the dwelling hereby approved and any measures shall be retained for their intended use at all times thereafter.

**Reason:** In order that the Local Planning Authority may be satisfied with the details of the proposal and to avoid flooding.

5. Notwithstanding the provisions of Article 3 and Parts 1 and 2 of the Second Schedule of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification) no development as specified in Classes A of Part 1 of Schedule 2 of that Order shall be carried out without express planning permission first being obtained from the Local Planning Authority.

Part 1

A) no extensions shall be erected

**Reason:** To enable the Local Planning Authority to control any future development on the site in order to safeguard the character and amenity of the area and impacts on neighbouring properties.

6. The window openings shall be set back from the external face of the wall. The depth of reveal shall be at least 100mm.

**Reason:** To ensure a satisfactory appearance to the development in the interest of visual amenity.

7. Excluding the garage door, all window frames, door frames and doors to the building hereby permitted shall be of timber construction only and retained as such; and shall be finished in a colour submitted to and approved in writing by the Local Planning Authority. The garage door shall be finished in white.

**Reason:** To ensure satisfactory appearance to the development in the interest of character and appearance of the Conservation Area.

8. Prior to first occupation of the dwelling hereby approved, two car parking spaces as shown on drawing No. CAL 2019004001 RevB shall be surfaced in a bound porous material and laid out in their entirety and shall be retained at all times thereafter for the parking of vehicles for the occupants of the development.

**Reason:** To allow for effective use of the car parking areas and ensure materials are not transferred onto the highway, causing a hazard for vehicles.

9. No development shall take place, including any works of demolition, unless and until a construction method statement has been submitted to and approved in writing by the Local Planning Authority. The approved statement shall be adhered to throughout the construction period. It shall provide for:

- i) The parking of vehicles of site operatives and visitors
- ii) The loading and unloading of plant and materials
- iii) The storage of plant and materials used in constructing the development
- iv) The erection and maintenance of security hoarding
- v) Wheel washing facilities
- vi) Measures to control the emission of dust and dirt during construction
- vii) A scheme for recycling/disposing of waste resulting from demolition and construction works.

**Reason:** In order to safeguard residential amenity and highway safety.

10. The window in the first floor north side elevation and the window in the first floor south side elevation of the development hereby permitted shall at all times be glazed only with obscure glass, of obscurity Level 4 or above, and be retained as such. Any replacement glazing shall be of an equal degree of obscurity. The window shall also be hung in such a way so as to prevent the effect of obscure glazing being negated by way of opening.

**Reason:** In order to protect and preserve the privacy and amenity of the occupiers of the adjoining dwelling.

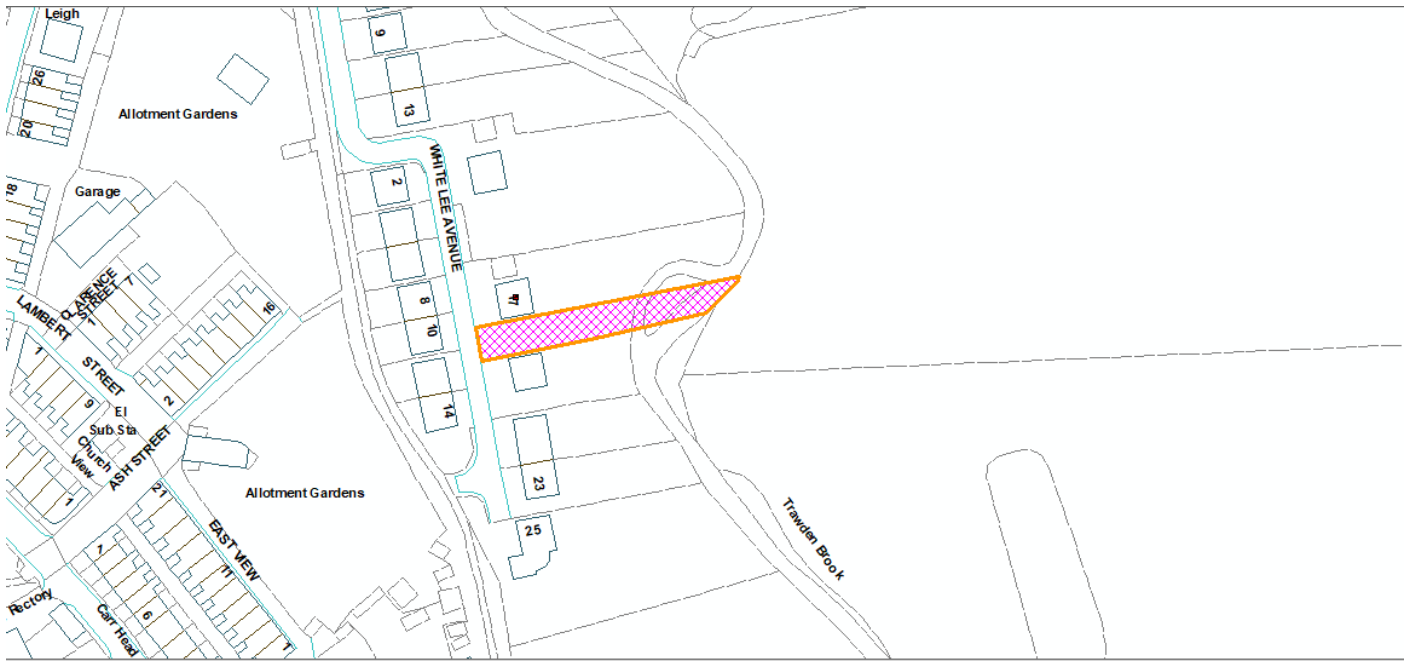
11. Unless approved in writing by the Local Planning Authority no ground clearance, demolition, changes of level or development or development-related work shall commence until protective fencing, in full accordance with BS 5837 : 2012 has been erected around each tree/tree group or hedge to be preserved on the site or on immediately adjoining land, and no work shall be carried out on the site until the written approval of the Local Planning Authority has been issued confirming that the protective fencing is erected in accordance with this condition. Within the areas so fenced, the existing ground level shall be neither raised nor lowered. Roots with a diameter of more than 25 millimetres shall be left unsevered. There shall be no construction work, development or development-related activity of any description, including the deposit of spoil or the storage of materials within the fenced areas. The protective fencing shall thereafter be maintained during the period of construction.

All works involving excavation of soil, including foundations and the laying of services, within the recommended distance calculated under the BS 5837(2012) of the trees to be retained on the site, shall be dug by hand and in accordance with a scheme of works which has been submitted to and approved by the Local Planning Authority, prior to the commencement of works.

**Reason:** To prevent trees or hedgerows on site from being damaged during building works.

## **INFORMATIVE**

This consent requires the construction, improvement or alteration of an access to the public highway. Under the Highways Act 1980 Section 184 the County Council as Highway Authority must specify the works to be carried out. Only the Highway Authority can carry out these works and therefore before any access works can start you must contact Lancashire County Council using the website link <http://new.lancashire.gov.uk/roads-parking-and-travel/roads/vehicle-crossings.aspx> to obtain a quotation and request the works.



**Application Ref:** 19/0430/FUL

**Proposal:** Full: Erection of a detached dwellinghouse with garage.

**At:** 17 White Lee Avenue, Trawden.

**On behalf of:** Mr S Hardman

## REPORT TO COLNE & DISTRICT COMMITTEE 8<sup>th</sup> AUGUST, 2019

**Application Ref:** 19/0453/ADV

**Proposal:** Advertisement Consent: Retention of 1 x freestanding non-illuminated advertisement board (Retrospective).

**At:** Lidgett, Skipton Old Road, Colne

**On behalf of:** Mr R McDermott

**Date Registered:** 17 June 2019

**Expiry Date:** 12 August 2019

**Case Officer:** Kathryn Hughes

### **Site Description and Proposal**

The application site is area of land with permission for residential development within Lidgett & Bents Conservation Area.

This application seeks consent to retain a non-illuminated advertisement board measuring 2.4m x 2m x 0.2m depth standing 1.22m above ground level. The overall size of the sign would be 4.8 sq.m.

An amended scheme has been submitted which removes two of the proposed boards which reduces the height to 1.6m and the square metre to 3.2 sq.m.

Under deemed consent the height of the sign is restricted to 4.6m and the overall size to 2sq.m as it would be less than 10m from the highway.

### **Relevant Planning History**

13/94/0084P - Outline: Application for Residential Development (9.8 acres) -Refused 25/04/1994. Appeal Dismissed, 21/12/1994.

13/95/0031P - Outline: Erect 87 detached dwellings (9.8 acres) – Withdrawn 24/02/1995.

13/98/0407P - Erect 78 houses and associated access roads – Withdrawn 13/04/1999.

13/99/0026P - Outline: Erect 78 houses and associated access roads - Refused 04/03/1999.

13/14/0580P - Outline: Major: (Access only from Skipton Old Road and Castle Road) Erection of up to 90 dwelling houses including estate roads, footways and open space provision – Refused 08/06/15. Appeal Allowed 28/09/16.

13/14/0581P - Outline: Major: (Access only from Skipton Old Road and Castle Road) Erection of up to 270 dwelling houses including estate roads, footways and open space provision – Refused 08/06/15. Appeal Dismissed 28/09/16.

18/0865/REM – Reserved Matters: Major: Erection of 82 dwellings and associated infrastructure (Appearance, Landscaping, Layout and Scale) – Approved.

### **Consultee Response**

LCC Highways – No objection on highway grounds subject to the illuminance being controlled.

## **Public Response**

Nearest neighbours notified by letter. Four responses received to date objecting on the following grounds:

- Certain categories of advertisement which have deemed consent are restricted in conservation areas;
- The LPA has a duty to pay special attention to the desirability of preserving or enhancing the character and appearance of that area;
- A large hoarding of this nature breaches these requirements and should be turned down on this basis and the company penalised in monetary terms;
- The application states no consultation was held with the community;
- The company has disregarded request to work with Lidgett and Beyond and disregarded planning controls and committed an illegal act; and
- If permission is granted the sign should be erected a minimum of 20m from the boundary/road so it does not impact on the conservation area.

Publicity expires on the 26<sup>th</sup> July, any further responses will be reported to the meeting.

## **Officer Comments**

The issues to consider in this application are Impact on Amenity and Highway Safety.

### **Amenity**

Local Authorities have a duty under Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 to preserve and enhance the appearance and character of Conservation Areas.

Concerns have been raised over the siting of this advertisement within the conservation area. I understand these concerns however, The Town and Country Planning (control of Advertisements) (England) Regulations 2007 sets out the provision for Miscellaneous temporary advertisements under Class 3 and the fallback position is that a sign up to 4.6m high and with an overall size of 2 sq. m. if it is sited less than 10m from the highway would be deemed consent i.e. would not require advertisement consent.

The proposed sign as amended would have an overall height of 3m with a size of 3.2sq.m. which is larger than the size allowed under deemed consent but would not result in a significant difference.

It should be noted that this type of signage is not specifically restricted in terms of deemed consent in conservation areas.

The signage would be within a mainly residential area with limited impact on amenity and therefore is acceptable.

This is acceptable on amenity grounds

### **Highway safety**

The signage scheme would not adversely impact on highway safety and therefore is acceptable in this aspect.

## Summary

The signage scheme is acceptable and due to its reduced height and size would not unduly impact on the amenity of the conservation area or highway safety.

### Reason for Decision

The signage scheme is acceptable and would not adversely impact on amenity or highway safety.

### RECOMMENDATION: Approve

Subject to the following conditions:

1. The development hereby permitted shall be carried out in accordance with the following approved plans:

01A.

**Reason:** For the avoidance of doubt and in the interests of proper planning.

2. No advertisement is to be displayed without the permission of the owner of the site or any other person with an interest in the land entitled to grant permission.

**Reason:** Condition imposed by the Regulations.

3. No advertisement shall be sited or displayed so as to -
  - a) endanger persons using any highway, railway, waterway, dock, harbour or aerodrome (civil or military);
  - b) obscure, or hinder the ready interpretation of, any traffic sign, railway signal or aid to navigation by water or air; or
  - c) hinder the operation of any device used for the purpose of security or surveillance or for measuring the speed of any vehicle.

**Reason:** Condition imposed by the Regulations.

4. Any advertisement displayed, and any site used for the display of advertisements, shall be maintained in a condition that does not impair the visual amenity of the site.

**Reason:** Condition imposed by the Regulations.

5. Any structure or hoarding erected or used principally for the purpose of displaying advertisements shall be maintained in a condition that does not endanger the public.

**Reason:** Condition imposed by the Regulations.

6. Where an advertisement is required under these Regulations to be removed, the site shall be left in condition that does not endanger the public or impair visual amenity.

**Reason:** Condition imposed by the Regulations.



**Application Ref:** 19/0453/ADV

**Proposal:** Advertisement Consent: Retention of 1 x freestanding non-illuminated advertisement board (Retrospective).

**At:** Lidgett, Skipton Old Road, Colne

**On behalf of:** Mr R McDermott

## LIST OF BACKGROUND PAPERS

Planning Applications

NPW/CPB

Date: 19<sup>th</sup> July 2019