

TOTAL SITE AREA = 9.527 HA - 150 UNITS = 15.74/HA

DEVELOPED AREA (5.0HA) DENSITY = 30.00/HA
AREA OF LAND UNDEVELOPED / LANDSCAPED = 4.527HA = 47.5%
PLUS COMMUNITY CAFE / SUDS FEATURES (PONDS) / LEAP /
FOOTPATHS

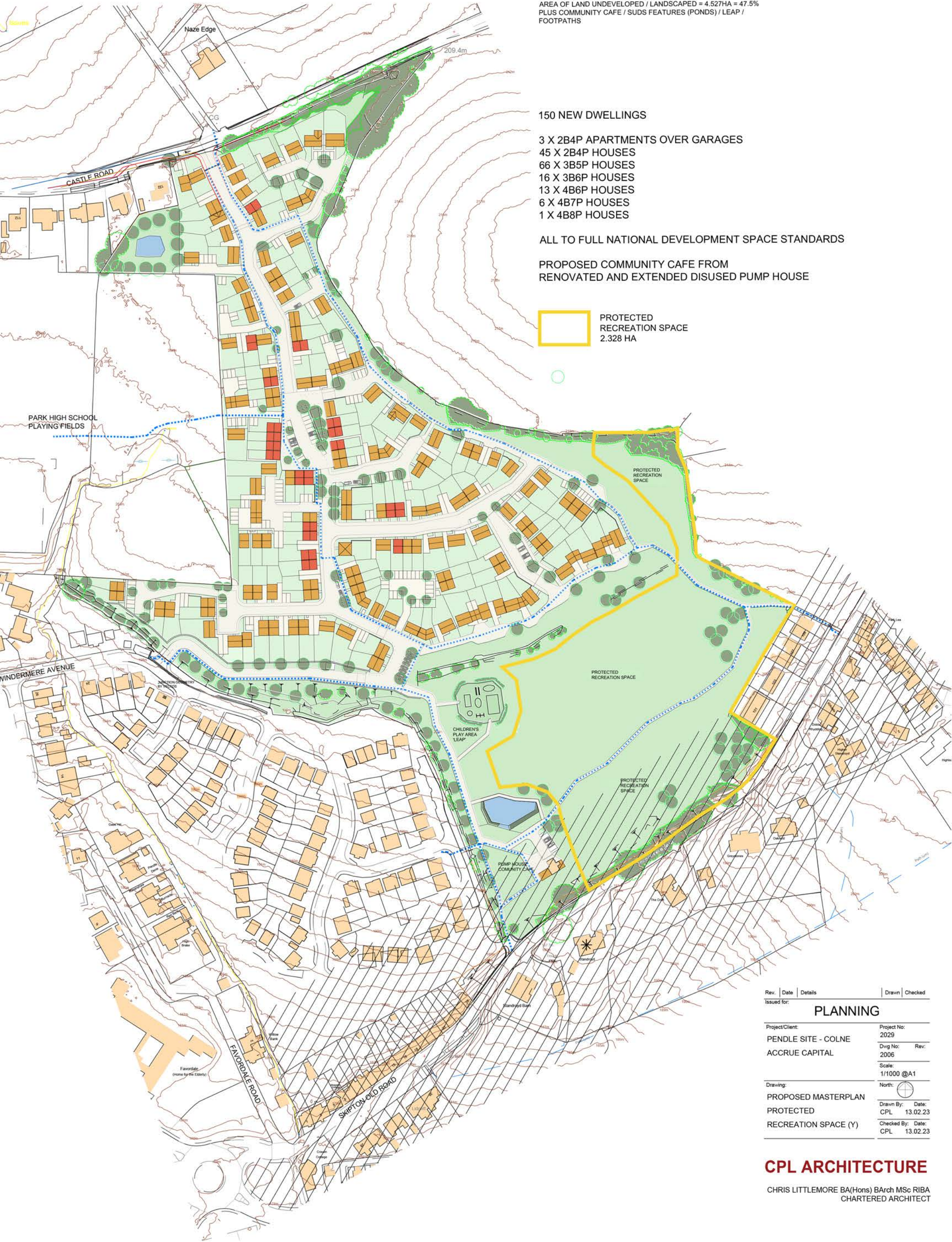
150 NEW DWELLINGS

- 3 X 2B4P APARTMENTS OVER GARAGES
- 45 X 2B4P HOUSES
- 66 X 3B5P HOUSES
- 16 X 3B6P HOUSES
- 13 X 4B6P HOUSES
- 6 X 4B7P HOUSES
- 1 X 4B8P HOUSES

ALL TO FULL NATIONAL DEVELOPMENT SPACE STANDARDS

PROPOSED COMMUNITY CAFE FROM
RENOVATED AND EXTENDED DISUSED PUMP HOUSE

PROTECTED
RECREATION SPACE
2.328 HA



Rev.	Date	Details	Drawn	Checked
Issued for:				
PLANNING				
Project/Client:			Project No:	
PENDLE SITE - COLNE			2029	
ACCURUE CAPITAL			Dwg No:	Rev:
			2006	
			Scale:	
			1/1000 @A1	
Drawing:			North:	
PROPOSED MASTERPLAN			Drawn By: Date:	
PROTECTED			CPL 13.02.23	
RECREATION SPACE (Y)			Checked By: Date:	
			CPL 13.02.23	

CPL ARCHITECTURE

CHRIS LITTLEMORE BA(Hons) BArch MSc RIBA
CHARTERED ARCHITECT



OUTLINE PLANNING PERMISSION FOR UP TO 150 NEW HOMES; REFURBISHMENT AND EXTENSION OF AN EXISTING PUMP HOUSE BUILDING AND ITS CHANGE OF USE TO A CLASS E OR CLASS F COMMUNITY USE; FORMATION OF A NEW MEANS OF ACCESS ONTO WINDERMERE AVENUE; ALTERATIONS TO AN EXISTING MEANS OF ACCESS ONTO CASTLE ROAD; AND OTHER ASSOCIATED WORKS

DESIGN AND ACCESS STATEMENT IN SUPPORT OF AN OUTLINE PLANNING APPLICATION TO PENDLE BOROUGH COUNCIL



REV B - 04.04.2023

CPL ARCHITECTURE

**Chris Littlemore BA (Hons) BArch MSc RIBA
CHARTERED ARCHITECT**

10 10: 2022

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APPLICANT:-
ACCRUE CAPITAL LTD

AGENT
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CPL ARCHITECTURE
ARCHITECTURE

VECTOS
TRANSPORT ASSESSMENT AND TRAVEL PLAN

ENVIRONMENTAL DESIGN PARTNERSHIP
LANDSCAPE STRATEGY AND VISUAL IMPACT
ASSESSMENT

LANPRO SERVICES
HERITAGE STATEMENT AND IMPACT
ASSESSMENT

THE ENVIRONMENT PARTNERSHIP
BIODIVERSITY SURVEY AND REPORT
ARBORICULTURAL SURVEY AND REPORT

LEXINGTON COMMUNICATIONS
COMMUNICATIONS CONSULTANTS

WARDELL ARMSTRONG
FLOOD RISK AND DRAINAGE STRATEGY

HOARE LEA
NOISE IMPACT ASSESSMENT

REDMORE
AIR QUALITY ASSESSMENT

BROWNFIELD SOLUTIONS
LAND CONTAMINATION ASSESSMENT (PH1)

LANCASHIRE POLICE
CRIME IMPACT STATEMENT

INTRODUCTION

The property which is the subject of this Outline Planning Application is situated on land to the east of Windermere Avenue on the east side of the town of Colne in the district of Pendle Borough Council. This Design and Access Statement is to be read in conjunction with all other consultants reports and specifically the Planning Statement by Maddox Planning, the agent for this application.

APPLICANT
ACCRUE CAPITAL LTD

SITE ADDRESS

LAND OFF WINDERMERE AVENUE, COLNE, LANCASHIRE, BB8 7DW

This Design and Access Statement explains the rationale behind the formulation of the proposals, and explains and illustrates the amount of development, the use, the layout, the scale, landscaping and appearance of the proposals and the access to them.

The proposals, which are indicative and will be subject to a reserved matters application in due course, have been designed drawing upon the influence of the context of the site, the specialist reports itemised in the panel to the left and studies of recent and historic developments in the immediate locality. The proposals have also followed local authority adopted design guidance and guidance within the National Planning Policy Framework and the National Development Space Standards for Housing. Guidance within the documents 'Manual for Streets' and 'Building for a Healthy Life' is also heeded. This was previously known as 'Building for Life 12' and is as approved by The Design Council, CABE, Design for Homes and the Homebuilder's Federation. (Full information is found at www.builtforlifehomes.org.) The key parameters being:-

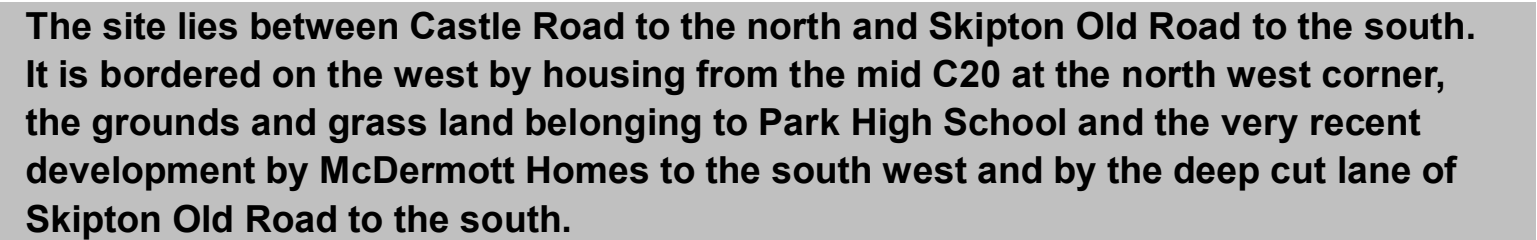
- 1) Natural Connections
- 2) Walking, cycling and public transport
- 3) Facilities and Services
- 4) Homes for Everyone
- 5) Making the Most of What's There
- 6) A Memorable Character
- 7) Creating well defined streets and spaces
- 8) Easy to find your way around
- 9) Healthy Streets
- 10) Cycle and Car Parking
- 11) Green and Blue Infrastructure
- 12) Back of Pavement, Front of Home

In addition to the above, the design has been informed by an extensive and documented public consultation exercise carried out in July 2022 which followed a Pre-Application process with Pendle Borough Council in the autumn of 2021 which continued into Spring 2022. At each stage of these processes, the design proposals were adjusted inline with feedback from each.

THE APPLICATION DESCRIPTION

OUTLINE PLANNING PERMISSION FOR UP TO 150 NEW HOMES; REFURBISHMENT AND EXTENSION OF AN EXISTING PUMP HOUSE BUILDING AND ITS CHANGE OF USE TO A CLASS E OR CLASS F COMMUNITY USE; FORMATION OF A NEW MEANS OF ACCESS ONTO WINDERMERE AVENUE; ALTERATIONS TO AN EXISTING MEANS OF ACCESS ONTO CASTLE ROAD; AND OTHER ASSOCIATED WORKS

(i) Context Analysis



The site is presently open rough grassland with a few isolated ditch and old wall lines with occasional low hawthorn bushes. There are boundary trees and some enhancement planting to the north east boundary. There is a stone wall running most of the length of the north eastern boundary.

The Lidgett and Bents Conservation Area touches the southern parts of the site and is denoted on this plan with a diagonal black hatch. Within this conservation area are a number of listed buildings. The three in closest proximity to the site are denoted by a black star.

A full heritage analysis of the site and its environs is provided in a separate report by Lanpro as part of this application.

Both of these reports have informed the process of design for these proposals.

4

2) THE APPLICATION SITE AND ITS SURROUNDINGS

(ii) Site Photographs



VIEW 1



VIEW 2



VIEW 3



VIEW 4



VIEW 5



VIEW 6



VIEW 7



VIEW 8



VIEW 9



VIEW 10



VIEW A



VIEW B



VIEW C



VIEW D



VIEW E

3) PROCESS OF DESIGN AND EMERGENCE OF PROPOSALS

(i) Site History (ii) Landscape Visual Impact Assessment (iii) Heritage Assessment (iv) Local Plan Core Strategy Design Guidance

edp

Colne, Pendle

DRAFT

Landscape and Visual Appraisal

Prepared by:
The Environmental
Dimension
Partnership Ltd

On behalf of:
Accrue Capital

August 2022
Report Reference
edp7440_r001b

HERITAGE ASSESSMENT

LAND EAST OF WINDERMERE AVENUE
COLNE
LANCASHIRE

PREPARED BY LANPRO SERVICES
ON BEHALF OF
ACCRUE CAPITAL

September 2022

Lanpro

Planning • Development | Design Studio | Archaeology • Heritage



FIGURE 6 - APPLICATION 02 - ILLUSTRATIVE DEVELOPMENT LAYOUT - 270 UNIT

The site formed part of an application dated 15 December 2014 (Ref 13/14/0581P) for up to 270 dwellings (Phase 1 and Phase 2 land illustrated here). This application was refused by Pendle borough Council on 8 June 2015 and became the subject of two Appeals on overlapping sites. Site A for up to 90 dwellings (Phase 1) and Site B (which included site A) for up to 270 dwellings (Phase 1 and Phase 2). As a result of these appeals, Site A Appeal was allowed on 28th September 2016 and Site B was dismissed. Site A is now nearing completion on site by McDermott Homes in a development of 82 dwellings. Phase 2—or the residual land of Site B less Site A is the land the subject of this application.

As part of the process of design, it has been necessary to review carefully the reasons the Inspector gave for the eventual dismissal of Appeal B (Site B for up to 270 dwellings). The Planning Statements by Maddox Planning cover this in detail, however from a design aspect, it is concluded that a critical point was while it was found that both the previous proposals of 90 and 270 dwellings would have given rise to a ‘less than substantial’ degree of harm to the Lidgett and Bents Conservation Area (CA), the larger proposal on Site B would demonstrate a higher degree of this harm. For Appeal ‘B’, the Inspector did not consider the application further beyond the harm to the heritage assets, which it was considered the proposal could not overcome.

This particular point has been given significant weight in the overall balance of how to bring forward a new development proposal.

An illustrative plan contained in the ‘Planit’ submission which formed part of the previous appeals is attached here for comparison with the current proposals shown later in this document. The Appeal proposal showed a large incursion into the conservation area and very little open space allowed. No work is proposed to the Pump House. There appears to be a uniform density of development across the site and little reference to any local form of streetscape, building groups or the landscape and no respect for the conservation area or views to and from it.

It can be seen that built form would have incurred within the CA along most of its northern boundary within the site.

To fully assess both the impact of the current proposals in the landscape and upon any heritage assets, two comprehensive reports have been prepared which are:-

A Landscape Visual Assessment prepared by EDP.

A Heritage Assessment by Lanpro Services.

These combine to provide constraints and advice on the optimum design approach to be taken for any proposal.

These have informed the design process alongside Local Plan Core Strategy Design Guidance LIV 3, LIV4 and LIV5a and LIV5b.

Policy LIV 3		
Housing Needs		
In order to meet the housing needs of different groups in the community, the Council will encourage and support the provision of a range of residential accommodation. Table LIV3a provides guidance on the particular housing products required by each group and the priority given to that need.		
Where applicable, applicants should demonstrate how their development will help to address these identified needs. They should have particular regard to Policies LIV4 and LIV5, and pay attention to the size, type and tenure of housing to be provided, ensuring that it meets the identified need.		
Table LIV3a Housing needs of different groups in the community		
Group	Housing need	Priority ⁽¹⁾⁽²⁾
Families with children	Provision of larger homes.	High
Minority households		
Young people	Provision of smaller homes of suitable tenures in accessible locations.	Medium
Older people	Provision of smaller homes, bungalows, adaptable homes and supported accommodation.	Medium - likely to grow over the plan period as the population ages.

Policy LIV 4

Affordable Housing

Targets and thresholds

Proposals for new (general market) housing which meet the relevant thresholds will be required to contribute towards the provision of affordable housing.

Table LIV4a sets out the area based affordable housing targets for different site thresholds which should be met. In areas where the current target is zero the Council will, where market conditions or site specific assessments indicate that it is viable, encourage applicants to provide affordable housing in order to meet the housing needs of the borough. The Council will look to review the targets within 3 years through a Partial Review of the Plan to take account of changing economic conditions.

Table LIV4a - size threshold and area based affordable housing targets

	M65 Corridor	M65 Corridor North	West Craven Towns	Rural Pendle
5-9 dwellings	N/A	N/A	N/A	20%
10-14 dwellings	0%	0%	0%	20%
15 or more dwellings	0%	0%	5%	20%

Where the relevant target cannot be met a financial viability assessment should be provided to allow the Council to negotiate with the applicant and adjust the amount of affordable housing accordingly.

Policy LIV 5		
Designing Better Places to Live		
The Council will require all new housing to be designed and built in a sustainable way in order to meet the needs of Pendle's population, create sustainable communities, increase the energy efficiency of new dwellings, reduce CO ₂ emissions and help to adapt to climate change.		
To achieve this, the Council will: require proposals to follow the design approach in Policy ENV2; support proposals that are of a high quality and innovative design; and strongly encourage the use of the Building for Life standards.		
The overall borough-wide requirements for the design of new housing are set out below. These are supported by more tailored guidance for each spatial area to address local circumstances.		
Borough-wide requirements		
The types and sizes of new dwellings to be provided should help to diversify the existing housing stock and achieve a better, more balanced mix of dwellings in the borough. This should include the provision of higher value homes. The range of housing should seek to address the specific housing needs of different sections of the local community (Policy LIV3), together with wider economic and environmental policy objectives, which seek to promote more sustainable living patterns (Policies WRK1 and ENV4). Tables LIV5a and LIV5b set out an indicative guide, which could be used by developers to help design a housing scheme to meet the needs and aspirations of people living in Pendle.		

3) THE PROCESS OF DESIGN AND EMERGENCE OF PROPOSALS

(v) Requirements of Building for Life 12 (vi) Manual for Street

BUILDING FOR LIFE 12 - (BUILDING FOR A HEALTHY LIFE)

The design process has a multitude of influencing factors. Successful places and spaces respond to their context sensitively and appropriately.

A nationally accepted guide of Building for Life 12 (2018) is recognised by Pendle Borough Council as providing a measure by which to formulate and test design proposals, alongside the many other constraints and forms of guidance and policy. This document has now been updated to become 'Building for a Healthy Life' 2020. This still has 12 key headings but now reflects changes in legislation and refinements to good practice and user feedback.

The 12 key headings within Building for a Healthy Life are:-

1) INTEGRATE NEIGHBOURHOODS

Natural connections

Facilities and services

Walking cycling and public transport

Homes for everyone

2) DISTINCTIVE PLACES

Making the most of what's there

A memorable character

Creating well defined streets and spaces

Easy to find you way around

3) STREET AND HOME

Healthy streets

Cycle and Car parking

Back of pavement / front of home

Green and blue infrastructure

These guiding principles will be used in the formulation of the proposals for this site in addition to other identified constraints and design factors.



MANUAL FOR STREETS

The creation of successful places and spaces is not just about the excellence of the design of individual buildings or collections of buildings. It is formed also by the linkages, space and routes formed between buildings and how these are used.

The guidance 'Manual for Streets' is recognised nationally as a guide for the design of movement networks and sets out key parameters of which designers should follow.

The principle elements of Manual for Streets look to:-

- 1) Apply a user hierarchy to the design process with pedestrians at the top.
- 2) Emphasise a collaborative approach to the delivery of streets
- 3) Recognise the importance of the community function of streets as spaces for social interaction.
- 4) Promote an inclusive environment that recognises the needs of people of all ages and abilities.
- 5) Reflect and support pedestrian desire lines in networks and detailed designs.
- 6) Develop masterplans and prepare design codes and use design and access statements for all scales of development.
- 7) Create networks of streets that provide permeability and connectivity to main destinations and a choice of routes.
- 8) Move away from heirarchies of standard road types based on traffic flows and/or numbers of buildings served.
- 9) Develop street character types on a location specific basis with reference to both the place and movement function for each.
- 10) Encourage innovation with a flexible approach to street layouts and the use of locally distinctive, durable and maintainable materials and street furniture.
- 11) Unse quality audit systems that demonstrate how designs will meet key objectives for the local environment.
- 12) Design vehicle speeds at or less than 20mph on residential streets
- 13) 13) Use minimum number of highway design features to make streets work properly.

3) PROCESS OF DESIGN AND EMERGENCE OF PROPOSALS

(vii) Local Identity - 1 - House Form



1



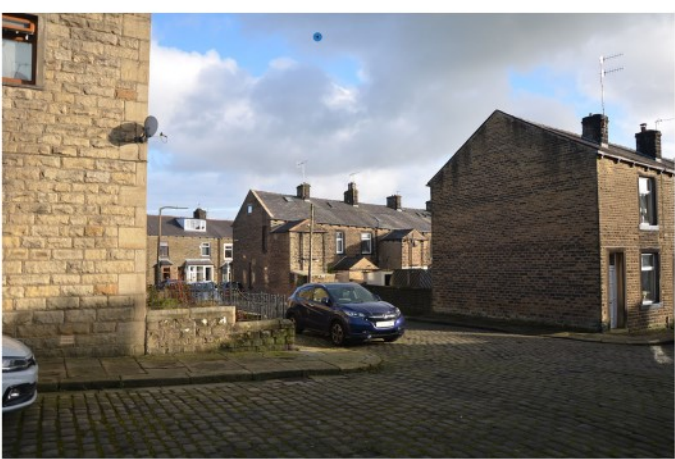
2



3



4



5



6



7

PHOTOS KEY

- 1 - LIDGETT - VIEW UP OLD SKIPTON ROAD
- 2 - TYPICAL COTTAGES - OLD SKIPTON ROAD
- 3 - COMBINATION OF 2 & 3 STOREY DWELINGS OLD SKIPTON ROAD
- 4 - 3 STOREY DWELLINGS - OLD SKIPTON ROAD WITH HISTORIC WEAVERS WINDOWS AT GROUND FLOOR
- 5 - TYPICAL URBAN LAYOUT WITHIN CONSERVATION AREA
- 6 - LARGER DWELLING OLD SKIPTON ROAD
- 7 - COLLECTION OF DWELLINGS ON CASTLE ROAD TO NORTH EAST OF SITE 2 & 3 STOREYS

Rev.	Date	Details	Drawn	Checked
Issued for: PRE - PLANNING				
Project/Client:		Project No:		
PENDLE		2029		
SKIPTON OLD ROAD		Dwg No:	Rev:	
VULCAN PROPERTY II LTD		30		
		Scale:	NTS	
Drawing:		North: 		
Drawn By:		Date:		
CHARACTER AREA		CPL 07.12.20		
PHOTOS		Checked By: Date:		
		CPL 07.12.20		
CPL ARCHITECTURE				
CHRIS LITTLEMORE BA(Hons) BArch MSc RIBA				
CHARTERED ARCHITECT				

These photographs show a selection of house form and assembly which display a very strong local identity.

A mixture of 2 and 3 storey dwellings under pitched roofs of c30 degrees with chimneys is common.

Dwellings step up the gradient of often steeply sloping ground.

Smaller dwellings do not have porches.

Majority of dwellings do not have projecting bays or gables.

Many dwellings open directly onto the street or with a very narrow private defensible space.

3) THE PROCESS OF DESIGN AND EMERGENCE OF PROPOSALS

(vii) Local Identity - 2 - Materials and Details

Window patterns are irregular between floors (a reflection of the historical local weaving industry).

Window and door surrounds are in natural or painted stone.

Eaves and gutters are supported by distinctive projecting stone gutter corbels sometimes with a continuous stone eaves lintol above.

Roofs are either natural slate or stone.

Walls are generally random height split and riven rubble gritstone brought to courses with occasional use of quoins on larger dwellings.

Garden walls in stone with Cock and Hen coping details.

Photos 5 and 6 show in CPLA view less successful modern interpretations of this vernacular language. These dwellings have forms and window to wall ratios which could be in many places without such local identity.

Photo 7 is more in keeping with this strong identity.



1



4



6



2



5



7



3

PHOTOS KEY

1 - ONE-PIECE STONE JAMBS, CILLS AND LINTOLS

2 - CORBELED STONE SUPPORTS TO SQUARE SECTION GUTTERS

3 - ROOF PITCH C 30 DEG. WINDOW FORMAT DIFFERS BETWEEN FLOORS (HERITAGE OF WEAVING)

4 - STONE GABLED PORCH + WINDOW VARIETY WINDOWS WITH STONE SURROUNDS SQUARED & TUMBLED RANDOM STONE WALLS BROUGHT TO COURSE

5 - PHASE 1 CONSTRUCTION REGULAR COURSING - NO GUTTER CORBEL - NO STONE SURROUND TO APERTURES

6 - PHASE 1 CONSTRUCTION REGULAR WINDOWS TO EACH FLOOR

7 - SUCCESSFUL RECENT DEVELOPMENT ON KEIGHLY ROAD

Rev.	Date	Details	Drawn	Checked
Issued for: PRE - PLANNING				
Project/Client:		Project No: 2029		
PENDLE		Dwg No: 31		
SKIPTON OLD ROAD		Scale: NTS		
VULCAN PROPERTY II LTD		North:		
Drawing:		CPL 07.12.20		
CHARACTER AREA PHOTOS		Checked By: Date: CPL 07.12.20		

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© CPL ARCHITECTURE LTD. Construction must work only to agreed dimensions which are to be checked on site.

3) PROCESS OF DESIGN AND EMERGENCE OF PROPOSALS

(viii) National Design Guidance - 1 - National Planning Policy Framework

The National Planning Policy Framework sets out key strategic guidance for the design of residential communities. Key guidance notes which will be observed in the preparation and formulation of the design proposals for this site relate to this document and specifically to the following sections.

The majority of these refer to the requirement for the establishment of appropriate planning authority strategy plans; however at an applicant's response level, they are equally important and assist in the preparation and consideration of any design proposal.

Section 8—Promoting Healthy and Safe Communities - Clauses 92, 93

Section 8—Open Space and Recreation - Clauses 98, 99, 100, 101, 102,

Section 9 - Promoting Sustainable Transport - Clauses 104, 105, 106, 107, 108, 110, 112

Section 10 - Supporting High Quality Communications - Clause 114

Section 11 - Making Effective Use of Land - Clauses 119, 120, 121, 124, 125,

Section 12 - Achieving Well Designed Places - Clauses 126, 130, 131, 132, 133, 134

Section 14 - Meeting the challenge of Climate Change - Clauses 152, 153, 154, 155

Section 14 - Planning and Flood Risk - Clause 169

All of the above will be covered in more detail by Maddox Planning in their planning statement, however CPLA note the relevance of the design guidance to be taken from this document.

An extract from the National Design Code Model is shown here which identifies the interaction between various aspects of 'A Well Designed Place'

These are borne in mind in the preparation of the proposals for this site.



3) PROCESS OF DESIGN AND EMERGENCE OF PROPOSALS

(viii) National Design Guidance - 2 National Development Space Standard

There have been many attempts to provide a technical standard for housing provision over the decades. The most widely used and now accepted by most Local Authorities and Housing bodies is the document produced by the Department for Communities and Local Government (now the Department for Levelling Up, Housing and Communities) known as:-

Technical Housing Standards—Nationally Described Space Standard.

This document provides general requirements for minimum areas of overall dwellings, specific rooms and facilities and storage.

Technical housing standards – nationally described space standard

Introduction

1. This standard deals with internal space within new dwellings and is suitable for application across all tenures. It sets out requirements for the Gross Internal (floor) Area of new dwellings at a defined level of occupancy as well as floor areas and dimensions for key parts of the home, notably bedrooms, storage and floor to ceiling height.
2. The requirements of this standard for bedrooms, storage and internal areas are relevant only in determining compliance with this standard in new dwellings and have no other statutory meaning or use.

Using the space standard

3. The standard Gross Internal Areas set out in Table 1 are organised by storey height to take account of the extra circulation space needed for stairs to upper floors, and deal separately with one storey dwellings (typically flats) and two and three storey dwellings (typically houses).
4. Individual dwelling types are expressed with reference to the number of bedrooms (denoted as 'b') and the number of bedspaces (or people) that can be accommodated within these bedrooms (denoted as 'p'). A three bedroom (3b) home with one double bedroom (providing two bed spaces) and two single bedrooms (each providing one bed space) is therefore described as 3b4p.
5. This allows for different combinations of single and double/twin bedrooms to be reflected in the minimum Gross Internal Area. The breakdown of the minimum Gross Internal Area therefore allows not only for the different combinations of bedroom size, but also for varying amounts of additional living, dining, kitchen and storage space; all of which are related to the potential occupancy.
6. Relating internal space to the number of bedspaces is a means of classification for assessment purposes only when designing new homes and seeking planning approval (if a local authority has adopted the space standard in its Local Plan). It does not imply actual occupancy, or define the minimum for any room in a dwelling to be used for a specific purpose other than in complying with this standard.
7. Minimum floor areas and room widths for bedrooms and minimum floor areas for storage are also an integral part of the space standard. They cannot be used in isolation from other parts of the design standard or removed from it.

8. The Gross Internal Area of a dwelling is defined as the total floor space measured between the internal faces of perimeter walls¹ that enclose the dwelling. This includes partitions, structural elements, cupboards, ducts, flights of stairs and voids above stairs. The Gross Internal Area should be measured and denoted in square metres (m²).
9. The Gross Internal Areas in this standard will not be adequate for wheelchair housing (Category 3 homes in Part M of the Building Regulations) where additional internal area is required to accommodate increased circulation and functionality to meet the needs of wheelchair households.

Technical requirements

10. The standard requires that:
 - a. the dwelling provides at least the gross internal floor area and built-in storage area set out in Table 1 below
 - b. a dwelling with two or more bedspaces has at least one double (or twin) bedroom
 - c. in order to provide one bedspace, a single bedroom has a floor area of at least 7.5m² and is at least 2.15m wide
 - d. in order to provide two bedspaces, a double (or twin bedroom) has a floor area of at least 11.5m²
 - e. one double (or twin bedroom) is at least 2.75m wide and every other double (or twin) bedroom is at least 2.55m wide
 - f. any area with a headroom of less than 1.5m is not counted within the Gross Internal Area unless used solely for storage (if the area under the stairs is to be used for storage, assume a general floor area of 1m² within the Gross Internal Area)
 - g. any other area that is used solely for storage and has a headroom of 900-1500mm (such as under eaves) is counted at 50% of its floor area, and any area lower than 900mm is not counted at all
 - h. a built-in wardrobe counts towards the Gross Internal Area and bedroom floor area requirements, but should not reduce the effective width of the room below the minimum widths set out above. The built-in area in excess of 0.72m² in a double bedroom and 0.38m² in a single bedroom counts towards the built-in storage requirement
 - i. the minimum floor to ceiling height is 2.3m for at least 75% of the Gross Internal Area

Table 1 - Minimum gross internal floor areas and storage (m²)

Number of bedrooms(b)	Number of bed spaces (persons)	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) *			1.0
	2p	50	58		1.5
2b	3p	61	70		2.0
	4p	70	79		
3b	4p	74	84	90	2.5
	5p	86	93	99	
	6p	95	102	108	
4b	5p	90	97	103	3.0
	6p	99	106	112	
	7p	108	115	121	
	8p	117	124	130	
5b	6p	103	110	116	3.5
	7p	112	119	125	
	8p	121	128	134	
6b	7p	116	123	129	4.0
	8p	125	132	138	

These principles will be used for the design of each house type to be proposed and all dwellings will comply with the requirements of this standard.

3) THE PROCESS OF DESIGN AND EMERGENCE OF THE PROPOSALS

b) (i) Pre-Application Process



A Request for Pre-Application Advice was made in October 2021.

The basis of this was that the applicant and consultant team now considered there to be a materially different set of parameters affecting the prospect of future development of the site. These in summary related to:-

- 1) Housing land supply;
- 2) A considered revised view of the impact of the proposed development on the Lidgett and Bents Conservation Area;
- 3) Maintaining routes through the site such that key views into the conservation area continue to be facilitated.
- 4) Footpaths may be diverted, but the integrity of views would need to be protected;
- 5) Access arrangements, including the potential improvement of access from Castle Road; and
- 6) Achieving a strong eastern boundary to the site such that it establishes a clear limit to development at the edge of the settlement.

The plan identifies the parameters for potential development. It should be noted that this proposal was for a total of 172 dwellings (which in addition to the 82 being built on land immediately to the west, would total 254 dwellings—16 fewer than that sought in the 2014 application and 2015/6 appeal process.

As part of an ongoing dialogue with the LA and LCC Highways department and prior to the request being made, this parameter plan also indicated a possible vehicular access into the southern part of the site from Skipton Old Road. This was subsequently removed and the site layout adjusted as there was clear advice from LCC that this would not be acceptable.

The key elements of this layout provided the potential for large areas of open space, maintenance and improvement of the public rights of way crossing the site, enhancement of the landscape and biodiversity and the identification of up to 10 viewpoints by which the applicant and LA would discuss the visual impact of the development upon the CA and its setting.

The essence of the present proposals, is that they are conceived from a Heritage and Contextual led approach. The process of examination of views and context and study of the local vernacular form, layouts, details and materials, gives a measure by which the form, extent and appearance of the development can be crafted.

The principle response from the LA was that whilst there may be an argument for development of the northern part of the site, the southern part was still not likely to be acceptable and the applicants should reconsider this aspect.

3) THE PROCESS OF DESIGN AND EMERGENCE OF THE PROPOSALS

b - (ii) Public Consultation Process

In addition to the LA pre-application process, the applicant also sought to undertake a public consultation which occurred in July 2022.

The strategic layout illustrated here formed part of that consultation.

At this point the proposal was still for 172 dwellings with strategic open space, maintenance and enhancement of public rights of way and key new potential linkages into the Park High School grounds and the McDermott Homes site. The addition of SUDs ponds and features and a new Local Equipped Area for Play, as well as a proposal for the extension of the Pump House to become a Community Café. Illustrative material shown here suggesting the design flavour of dwelling was included in this process.



The responses from the consultation highlighted concerns of the impact on the conservation and loss of open land. There were however several positive responses also for example from potential purchasers of any future houses when and if the site becomes consented and developed.

A full report on this process is provided by Lexington Communications who masterminded the process.

As a result of both the Pre-Application and Public Consultation processes, the design team reviewed the overall approach, the quantum of development and the details of the proposals.

The result of this review was that further change and a significant reduction of the extent of development was made.

The final application proposal was decided to be up to 150 dwellings in the description of the application as noted on page 3 of this statement.



4) APPLICATION PROPOSALS

a) Use - b) Amount of Development



USE

The application site layout is for new residential use and the change of use of the Pump House building to Class E or Class F Community use.

As a result of the consultative processes the amount of proposed development has been reduced to be up to 150 dwellings in addition to the above Café / Community Use.

AMOUNT OF DEVELOPMENT

The LA Core strategy design guidance (LIV5) provides information on required mix and types of dwellings.

All proposed dwellings, whether of 2 Bedroom, 3 Bedroom or 4 Bedroom types are proposed to be compliant with the National Development Space Standards. In both general area and detail.

All dwellings are designed with parameters of either a 3m wide drive or 1.2m wide footway to one side or the other to ensure sufficient space is allowed alongside each dwelling.

The final layout removes all housing from the southern sector of the site with the result being that of the 9.527Ha of land available, 4.527Ha remains as green space or with footpaths or other site features such as SUDs drainage, ponds, LEAP or the Community Café. The extent of green space is nearly 47% of the total.

In terms of density of proposed housing, up to 150 dwellings proposes a density of 30 dwellings per hectare on the 5 hectares of space built upon. This is in compliance with the PBC Core Strategy guidance. This guidance indicates the proportion and split of dwellings in an ideal proposal which is as follows:-

1 and 2 Bed Units - 52.5% 3 Bed Units - 35% 4 Bed Units - 12.5%

However, the guidance also suggests that the highest need for housing falls in the small to medium sized family house bracket. Balancing the guidance and other statements, together with an applicant analysis of housing market need the following mix is proposed:-

2 Bed Units - 32% 3 Bed Units - 54.7% 4 Bed Units - 13.3%

Policy LIV4a sets out criteria for the extent of affordable housing required within the Borough. All of the houses are designed to space standards acceptable to AH providers. It is proposed that there could be an affordable provision of up to 5% of the total number of 150 dwellings (ie 8 AH dwellings) leaving 142 for private sale. This proportion is consistent with the McDermott development immediately to the south west.

Table LIV4a - size threshold and area based affordable housing targets

	M65 Corridor	M65 Corridor North	West Craven Towns	Rural Pendle
5-9 dwellings	N/A	N/A	N/A	20%
10-14 dwellings	0%	0%	0%	20%
15 or more dwellings	0%	0%	5%	20%

Where the relevant target cannot be met a financial viability assessment should be provided to allow the Council to negotiate with the applicant and adjust the amount of affordable housing accordingly.

b) Amount of Development

A schedule of 13 different house types is provided across the 150 units. Of these there are 20 units which are 2.5 storeys in height and these are illustrated in dark orange on the technical layout plan here. A summary of the schedule is below:-

LAND TO EAST OF WINDERMERE AVE COLNE	2029	27.04.2022	SHEET 6 OF 6	CPL ARCHITECTURE
DEVELOPMENT SCHEDULE	RUNNING TOTAL			
PLOT		2 BED UNITS	3 BED UNITS	4 BED UNITS
2B4P - 81 APART OVER PARK	3			
2B4P - 80.6 SSE HOUSE	37			
2B4D - 80.6 LSE HOUSE	4			
2B4P - 93.4 CORNER HOUSE	4			
3B6P - 106.1 SSE HOUSE (2.5ST)	16			
3B5P - 93.6 SSE HOUSE	24			
3B5P - 93.6 LSE HOUSE	20			
3B5P - 103.7 SQFORM HOUSE	5			
3B5P-98.4 LSE HOUSE	17			
4B7P - 123.85 SSE HOUSE (2.5ST)	4			
4B6P = 116 LSE HOUSE	13			
4B7P - 141 HOUSE	2			
4B8P - 151 HOUSE	1			
TOTAL	150			
NOTES				
SSE - SHORT SIDE ENTRY				
LSE - LONG SIDE ENTRY				
(2.5ST) = 2.5 STOREY HOUSE				

In addition to suggestions on housing mix, Pendle Borough Council policy indicates in LIV5a mix of types of dwelling, namely:-

Detached House - 25% Semi-Detached House - 35% Terraced / Flatted - 20%

This mix also includes a further 20% suggested for Bungalow accommodation but it is the applicants view that single storey accommodation of this nature is both inefficient in terms of land use and less appropriate in terms of design appearance in keeping with the local context. The type mix proposed is:-

Detached House - 27.3% Semi-Detached House - 53% Terraced / Flatted - 19.3%

Excepting the avoidance of any bungalow style development in the proposals, this mix accords very closely with that suggested in the PBC LIV5a policy.



4) APPLICATION PROPOSALS

c) Layout - Character Zones and Links



CHARACTER AREA 1 (Squares)

Enclosed or open sided square with shared surfaces and informal parking, trees and clear enclosure to two or more sides. These are the key areas giving a sense of place to the development. One is enclosed, the other is open on two sides which differentiates between the two. They will be clear 'centres' within the scheme and will aid navigation through the development.



CHARACTER AREA 2 (Organic Streets)

Winding street with shared surface roads and pavements of varying width. Dwellings defining the edge of public space.

Tight corners and organic layout.

Design restricts vehicle speed and gives pedestrian hierarchical authority.



CHARACTER AREA 3 (Open Edge off Development)

Open edge of development with dwellings fronting onto private drives of shared surface texture and footpaths. Natural surveillance from dwellings and existing and new enhanced tree planting in natural rough grass landscape.

4) APPLICATION PROPOSALS

C) Layout - Built Area and Density

The site comprises some 9.527 Hectares. Of this, the area of land with proposed buildings is some 5 Hectares being situated to the north of the site.

All along the eastern boundary, a strong buffer is proposed of rough grass, existing trees and enhanced trees and hedgerow with the definition of the edge of the site being the existing dry stone wall which would be renovated and strengthened where required.

Figure 1 demonstrates the areas of built land and green space.

As with the early scheme presented at the Pre-Application stage, the proposal has areas of development at differing densities. The overall density if 150 dwellings are built on the 5 Hectares of land shown would be 30 Dwellings per hectare.

Figure 2 illustrates the split of densities.

The lower levels of density to the east and south are nearer 20 dwellings per hectare. The higher densities in the centre of the scheme are 35-40 dwellings per hectare.

As can be seen in the context studies of existing dwellings on Skipton Old Road, there is a mix of 2 and 3 storey building in the locality.

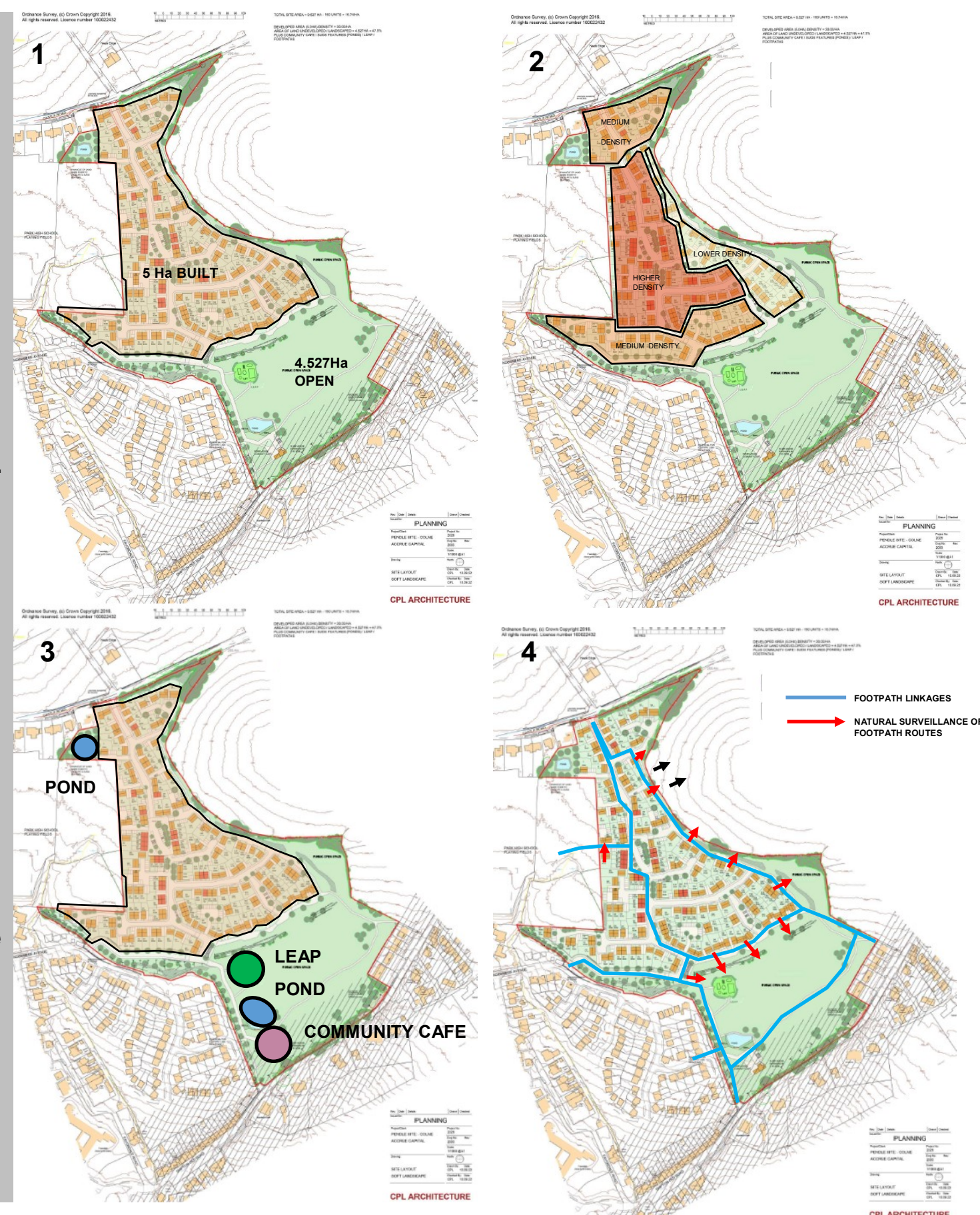
The proposals include for a similar mix with 20 of the 150 dwellings being suggested as 2.5 / 3 storey. These are generally located in the central higher density zone and are shown in a darker tone.

Within the green spaces, there are community based features which will benefit the site development and the wider area.

Figure 3 shows the suggested location of ponds (linked to a SUDs drainage scheme—Ref report by Wardell Armstrong), a LEAP (Local Equipped Area for Children’s Play) and the converted and extended Pump House to become a community café.

In addition to the shared surface road network running through the development, the two existing public rights of way are incorporated and enhanced with new linkages within the site running east—west and also suggestions made to create a link into the Park School land and the McDermott Homes development both to the west.

The dwellings in the vicinity of these footways and footpaths are located so they provide extensive natural surveillance to pedestrians using these paths. These are shown in Figure 4.



4) APPLICATION PROPOSALS

c) Layout - Design— Public and Private Spaces

Clear definition of public and private space is shown in all areas of the development. This is demonstrated in each of the examples of character areas below. This is obvious in the larger areas of open space but requires careful handling in between and around dwellings and routes.



CHARACTER AREA 1

This is an illustrative plan of the central enclosed square. The dwellings facing the square directly address the public space which is defined by surface texture, trees and street furniture. The routes for pedestrians and vehicles are inferred but no upstand kerbs are incorporated. Parking spaces are indicated by surface texture in concrete block. The entrance and exit from the square is defined by granite setts in the vehicular routes.

The rear gardens of dwellings all have access either to the side or rear of their respective dwelling. Each are 11m long or more to give good private space to the dwelling they serve. Each private garden will have a cycle store, recycling refuse bins hard standing and will be fully enclosed by larch fencing. To the side of dwellings fronting onto two public spaces, a stone wall boundary definition is included.



CHARACTER AREA 2

Similar to Character Area 1, there is clear definition between the public and private space.

Dwellings either address the 'back of pavement' edge directly as in Character Area 1 or are set back to provide a definite landscape zone.

All areas of public space are overlooked by dwelling front and side elevations.

All private spaces are defined by stone garden walls, or timber fencing or a combination of both. Each private garden will have a cycle store, recycling refuse bins hard standing and will be fully enclosed by larch fencing.



CHARACTER AREA 3

The softer edges of the development with lower density distribution of dwellings still maintains a clear differentiation between public and private space.

Private drives and footpaths are again overlooked by front and/or side elevations of dwellings and soft landscaped front gardens define the frontages to each private dwelling. Each private garden will have a cycle store, recycling refuse bins hard standing and will be fully enclosed by larch fencing.

The scale of the development is a function of the individual building blocks of the project, in this case the dwellings themselves, the spaces and routes between them and the areas of land left undeveloped and left as open space.

This statement has previously examined the extent of land used for building and left for open green space and has explained the amount and use of the proposals.

The building blocks of the scheme are now examined, namely the houses themselves.

The designs for each are based on the study of local vernacular built form, detail and materials and illustrative examples are shown on page 13.

The designs are also governed by the spatial requirements of the NDSS. In addition to this, each dwelling has been designed to provide an enhanced level of insulation in the walls, roof and floor to ensure they exceed the minimum Building Control requirements for the same by 10% to futureproof the performance of the fabric in terms of heat loss. This means that the external walls need to be a minimum of 380mm thick (made up of 125mm stone outer leaf, 140mm cavity filled with rigid board insulation, 100mm concrete block inner leaf and 15mm dryline plasterboard).

This level of construction is allowed for in the overall spatial layout.

Typical plans are shown below of a Small scale dwelling (2B4P 80.6sqm) a medium scale dwelling (3B5P 93.6 sqm) and a larger scale dwelling (4B8P 151.2sqm)

The planning application drawings contain full details of each house type being proposed within the development.

The ratio of wall to window, the irregular placement of windows, the roof pitch, plan depth and length and the detailing of eaves and porch all combine to produce a scale of dwelling that is commensurate with the existing well defined and attractive local examples existing in the borough.

2B4P 80.6sqm House.
Detached / Semi—Detached or Terraced



3B5P 93.6sqm House or 4B7P 123.85sqm House (2.5st)
Detached / Semi—Detached or Terraced



4B8P 151.2 sqm House
Detached



4) APPLICATION PROPOSALS

e) Appearance - Houses



2B4P HOUSE - 80.6 SQM LONG SIDE ENTRY



3B5P HOUSE - 93.6 SQM - SHORT SIDE ENTRY



4B8P - 151.2 SQM HOUSE

The three examples of house type design illustrated on the previous page are shown again here as 3D images.

The appearance of each is expressly in the style of the local Lancashire vernacular language.

This is typified by irregular window patterns, corbelled stone gutter brackets, stone or slate pitched roofs, natural stone or painted stone door and window surrounds, small porches on larger houses and no porches on smaller houses.

A full schedule of materiality for the proposed development is provided as an application document and full material details are shown on each house type drawing.

Variety is achieved by several means. The number of house type designs and their organic layout achieves a natural appearance of the design, unlike any standard housebuilder layout.

These are typified as follows:-

WALLS - Forticrete Anstone Old Heather Black Pitched stone laid to course in random course heights and random lengths. Square form houses to be rendered in pastel shade but with window surrounds as all houses.

WINDOWS - Painted Timber (Accoya or similar).

WINDOW SURROUNDS - Surrounds in stone left natural or painted white, black, pale green as noted in the development schedule.

GUTTERS - Stone corbel brackets to support square section RW Goods in Black Faux Iron gutters and downpipes.

ROOFS - Natural Blue Slate or Greys Artstone reconstituted diminishing stone slates. Blue ridge tiles. Development schedule details which plot is which.

PORCHES - Medium sized houses have a flat topped timber (Douglas Fir) roof supported on gallows brackets and larger houses a pitched roof (to match the house they serve) on a Douglas Fir framed porch again supported on allows brackets.

In addition to the dwellings, the development includes the renovation and extension of the Pump House in the southern corner of the site. This is illustrated in a full suite of drawings as part of the application. Extracts of these are shown on the following page.

4) APPLICATION PROPOSALS

e) Appearance - Community Café / Pump House

There is one building presently located on the site. This is a stone built Pump House in the southern corner which was a building associated with a reservoir which was also located on the southern part of the site. The reservoir has long since been decommissioned and removed. As a result, the Pump House has fallen into dereliction and is now boarded up and out of use.

An opportunity exists to bring this building back into an appropriate use.

The proposals show how this building could be renovated and extended to form a small Community Café and information centre.

The existing building would be repaired in like for like materials of gritstone walls, natural blue slate roof and faux iron downpipes and gutter. The new extensions would be faced in vertical larch boarding under a natural blue slate roof. PPC Aluminium trims to eaves and flashings and PPC Aluminium windows and doors would complete the appearance.

The Pump House is located at the lower end of the existing footpath just before it exits the site onto Skipton Old Road. The location of the buildings has been considered carefully within the overall layout of the site.

It is anticipated that as the café is on an established desire line and walking route, it will be easy to use and encourage visitors.

The existing building has a gross internal area of 36sqm. The extended and refurbished building has a gross internal area of 77.25sqm.



PUMP HOUSE COMMUNITY CAFE - VIEW FROM NORTH WEST



PUMP HOUSE COMMUNITY CAFE - VIEW FROM NORTH EAST



4) APPLICATION PROPOSALS

f) Building for a Healthy Life

The government's guidance document 'Building for a Healthy Life' has been followed closely whilst the designs for this site have been formulated.

1) Natural Connections

There are excellent pedestrian connections incorporated and enhanced with the design, ensuring the existing footpaths and rights of way are included, enhanced and developed to increase the connectivity of the site with its immediate surroundings where no connections exist at present. Additional routes crossing the site east—west in the southern sector is introduced as are potential linkages into the Park High School site and into the McDermott Developments housing site.

2) Facilities and Services

Other than for the two public rights of way crossing the site, the land is not used formally at present for anything other than the grazing of stock. The one building situated on it is derelict. As part of the development, a new Community Café will be incorporated from this derelict building providing a new facility for the local area. A new children's equipped area for play will also be incorporated as will two new permanent ponds which will function as part of a sustainable urban drainage scheme and as centres of enhanced biodiversity.

3) Walking Cycling and Public Transport

Whilst there is no defined commercial requirement for a bus route through the site at present, the designs allow for the incorporation of a bus stop in each direction on the main north south route through the site between Windermere Avenue and Castle Road. The existing public footpaths are extended and new link made to adjacent land where none exist at present. A cycle route would be introduced running north to south.

4) Meeting local housing requirements - Homes for Everyone

There is an established need for appropriate housing provision in the Borough of Pendle and the proposals closely follow the requirements set out in the Core Strategy document (LIV5) for housing type, size and mix. The standards of design follow nationally defined criteria in the NDSS for space and facilities.

5) Memorable Character

A close analysis of the local vernacular language of building, together with an understanding of more recent successful and less successful design proposals, has given rise to a suite of new dwellings in an organic arrangement which typify the north Lancashire settlement pattern and appearance. House form, details and materials are all recognisable as being of the immediate locality. The spaces between buildings in the form of Character Areas 1 (Squares) ,2 (Organic Streets) and 3 (Open Edge of Development) are also typical of an organic settlement in this area.

6) Working with the site and its context

Extensive studies of the site have been undertaken in the form of Heritage assessments and a Landscape Visual Impact Assessment. These have informed the location of the built form, the principle and secondary routes for vehicles and pedestrians, the areas of lower and higher density, the locations of strategic landscape and other features and the overall design and appearance of the proposals. In addition to this an extensive study of the site and its relationship with the Lidgett and Bents Conservation Area (CA) to the south has been undertaken in order to be able to assess the impact upon the CA of any forthcoming proposal. A total of 10 key views have been identified and discussed with the LA Planning team as appropriate view points to compare existing and proposed views. Accurate and verifiable photographs and 3D CGI imagery have been taken from these 10 points. The results (included later in this document) demonstrate that a high degree of consideration has been given within the design to ensure that there will be minimal harm imposed upon the CA as a result of the proposals. This was one of the key elements of the decision by the Inspector in the 2015/16 appeal which caused the appeal to be dismissed.

The proposals recognise that the site is presently formed from rough grass and pasture land. Of the 9.527Ha of land within the red-line site definition, 47% is retained as soft landscape (a total of 4.527Ha). The majority of this open space is in the southern half of the site with a large buffer of space clearly defining the eastern edge and forming a definitive boundary between the development and the open countryside to the east.

There is a triangle of land at the north western edge of the site lying behind the properties on Castle Road. It is proposed to retain this as open space and a new pond feature forming part of the SUDs drainage proposals. As part of the facilities offered with the development, a further permanent pond is suggested alongside the new Pump House Café together with a LEAP for children. This would not only serve this site but other housing in the immediate locality. New footpath links are suggested to provide a greater degree of accessibility and permeability to the movement networks.

7) Creating well defined streets and spaces

The study of local built form, details and materials has given rise to three principle Character Areas within the development which are essentially defined by the spaces between buildings and the building form and scale. The use of organic linear non parallel sided routes with a mixture of terraced, semi-detached and detached properties in varying densities from high in Character Area 1 to low in Character Area 3 gives identity to each that are recognisable and 'of their place'.

8) Easy to find your way around

The use of the organic linear street pattern interspersed with enclosed and open squares and extensive footpaths either on shared surfaces or as footpath routes gives an individual identity to each area of the development. In addition to this the use of materials and building details give reference to particular points within the development. The use of a rendered house at a particular intersection of routes, the variety of colour to the stone surrounds of windows and doors on particular properties, the alternative roofing material of either slate or reconstituted diminishing course stone all give a recognisable identity to particular dwellings or groups of dwellings.

There are views through the development along streets, squares and between dwellings which extend to the distant moorland and Colne townscape. All of the above combine to produce a development in which every dwelling can be described by its location referencing a change in direction, a colour, a view, a relationship to a square or street intersection. This makes it very easy to navigate through the development either on foot or by vehicle. The sense of ownership and individual pride in owning a dwelling such as this is also enhanced by this ease of location and identity.

9) Healthy Streets for all

The street and footpath network proposed is based firmly on the guidance contained in the document /Manual for Streets. It ensures that the vast majority of street form is of a shared surface nature, is of varying width, is clearly defined as public space and in which the pedestrian has priority. There are extensive footpaths incorporated into the development as well as clear zones in public squares for informal parking and street landscape. Definition to the transition from a square (eg Character Area 1) to an organic linear street (Character Area 2) is defined by a change in surface material from block paved to granite setts to form subtle vehicle movement control points. Large timber bollards in squares define vehicular movement and informal parking zones from pedestrian zones where necessary along with tree planting. All streets and footpaths have natural surveillance from dwellings at all points within the scheme. The two short entrance routes, one from Castle Road and the other from Windermere Avenue are to be in tarmac with upstand kerbs as transitions from the established existing roadway routes into the development. All streets and shared surfaces levels are arranged so that they are on ground falling at less than the LCC recommended gradient of 1 in 20. One length of footpath lining the east and west corners of the site adjacent to the café has a short section of around 1 in 17 which follows the natural gradient of the ground.

10) Cycle and Car Parking

All dwellings will have a minimum of two parking spaces with larger dwellings having three. Most are in private drive spaces forming part of the curtilage of each dwelling. There are also informal visitor parking spaces in wider areas of the organic road layout and squares. Accessible parking is located also in squares and in a small area of parking associated with the Pump House Café which is accessed down the length of private drive serving the café. Each private parking drive will have an electric vehicle charging point. Every dwelling will have an enclosed cycle store in the private garden. Cycle parking facilities can be introduced into each of the two main squares.

11) Public and private spaces - Green and Blue Infrastructure

There are clearly defined public spaces forming both hard landscaped features within the development and wider extensive open grassland areas. The new network of footpaths increases the accessibility to this open green space. The proposed LEAP, pond and café are all new additional features which become public benefits. Public spaces will be enhanced by street furniture and new and enhanced existing tree planting. Informal visitor parking in the squares and occasional street based parking will have electric vehicle charging points available.

All dwellings have their own private garden space with the vast majority having private on-site parking facilities. Each private garden will be enclosed by stone walls or larch fencing or a combination of both.

12) External storage and amenity space - Back of Pavement / Front of Home

All dwellings will have a hard standing area in their private garden for recycling and refuse bins. All dwellings are serviceable from a LCC Refuse vehicle within the requisite distances required for turning and reversing and for operatives to gain access to refuse containers. All containers would be placed in an appropriate place on the appropriate day for emptying. Every dwelling will have an enclosed private garden of appropriate area accessible from an external gate alongside the dwelling or via a rear parking court or path.

4) APPLICATION PROPOSALS

g) Landscape - Soft



A detailed Landscape Visual Impact Analysis has been undertaken by EDP. EDP have also produced a landscape strategy proposal which should be read in conjunction with all information from CPL Architecture.

The layout here shows the schematic nature of EDP's proposals. The layout has given a high degree of importance to setting the development in the landscape within its constraints all identified within this DAS.

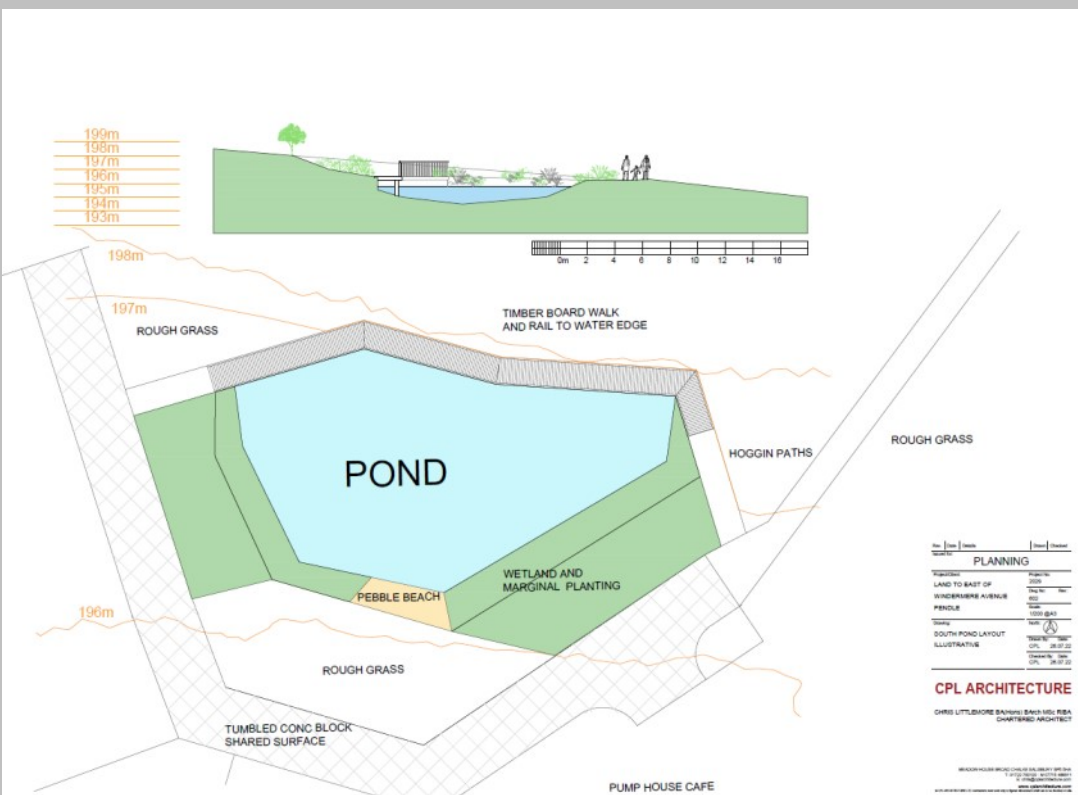
The essence of the large amount of retained and enhanced open space is to keep the open rough grassland appearance with added wild flowers. There will be enhanced tree planting on the eastern, southern and northern boundaries. The eastern hedgeline will be strengthened and the existing dry stone wall renovated and enhanced.

Within the site, it is possible to retain some of the existing old ditch and wall lines which have sporadic hawthorn and mixed species hedgerow trees. These will be enhanced by additional planting.

As part of the landscape proposals, a scheme for SUDs is proposed by Wardell Armstrong (Ref Separate Report by Wardell Armstrong). Principle features of SUDs are identified on this layout. These take the form of existing and proposed ditches and swales and two permanent ponds and underground connections between each. The ponds and swales will add to and enhance the degree of biodiversity within the site.

The proposals will ensure that there is no additional drainage or flooding impact within the site or elsewhere as a result of the proposals.

The pond proposed for the southern part of the site to the north of the Pump House Café is illustrated here. This has safe accessible routes around it and will become a beneficial public feature of the proposals.



4) APPLICATION PROPOSALS

g) Landscape - Hard

The project looks to adopt the guidance from Manual for Streets in terms of the highways and lard landscape layout. Consequently, the majority of all roads, pathways, shared surfaces and public squares will be in permeable block paving.

Definition between zones will be made by appropriate edge treatment in the bond of the blocks, gully lines and changes of material.

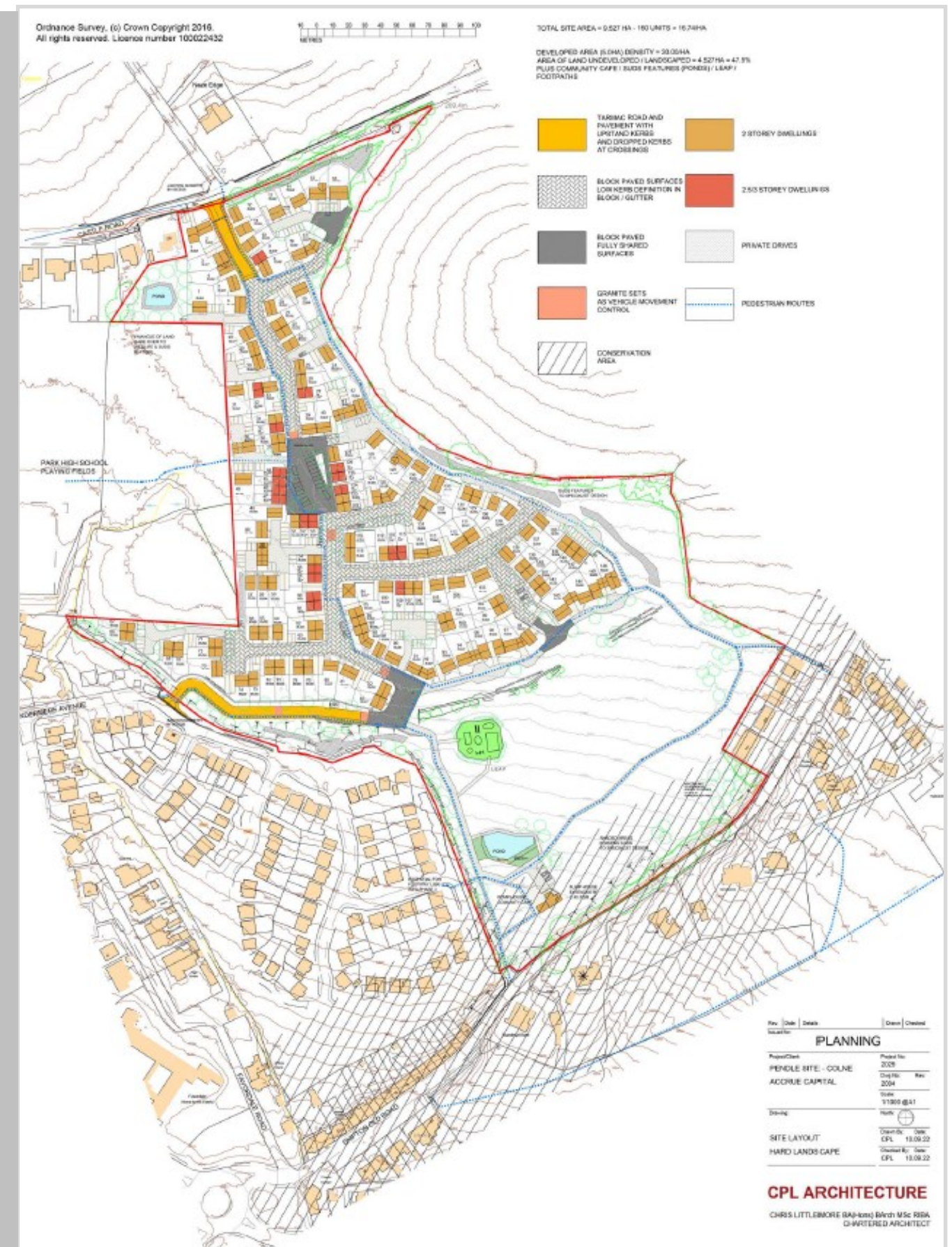
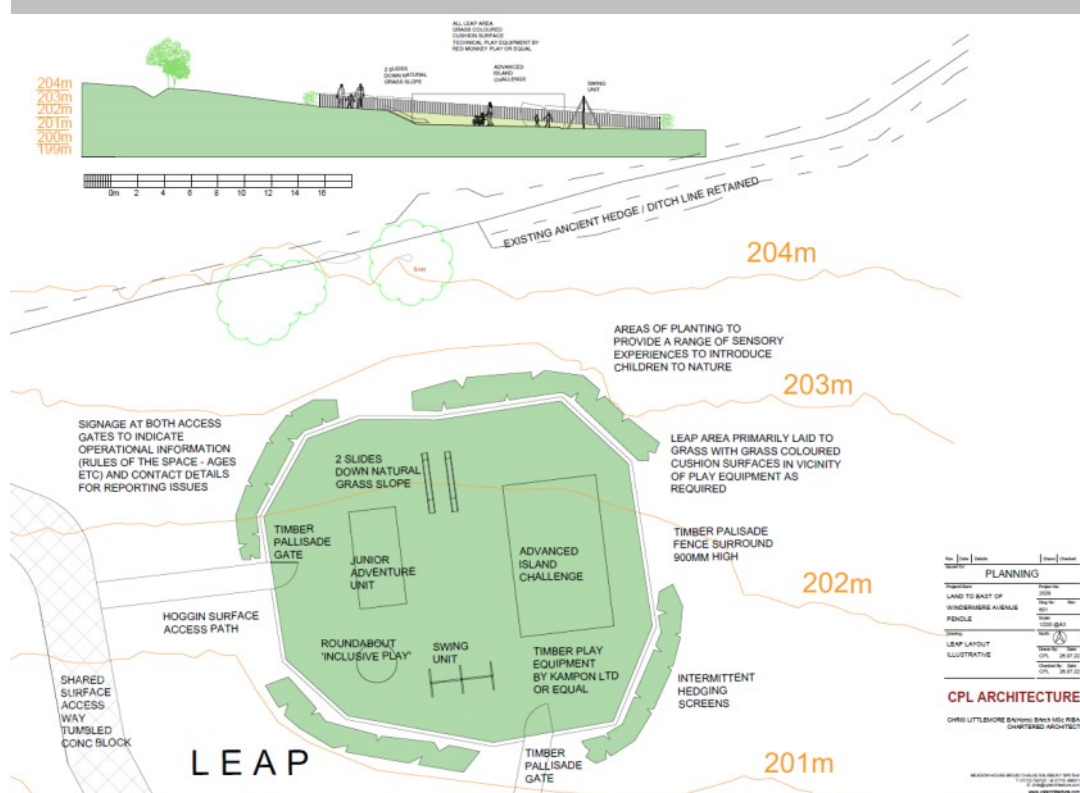
A key to these is provided on the 'Site Layout ' Technical' shown here.

Pathways which become footways will be laid to compressed hoggin with treated timber edge boards to give a natural soft appearance.

Dwelling plots with a side garden elevation presenting to a footpath or shared surface will be enclosed by stone walling to match the dwelling with Cock and Hen copings.

One of public features incorporated within the proposals is that of a LEAP for children's play. This is located within the sloping ground to the south of the southern square. IT is screened from view by the gradients and by perimeter hedge planting. Paly features will utilise the slope of the ground for the most natural effect. The requisite recommended boundary distances from dwellings and habitable rooms are respected and exceeded.

An illustration of the proposed LEAP is provided below.



4) APPLICATION PROPOSALS

h) Design for Sustainability - Buildings

In line with the government's stated aims for reduction in carbon emissions, the following features will be incorporated into the proposed dwelling designs:-

1) INSULATION AND HEAT SOURCE

Each dwelling will have external walls which feature cavity walls of 380mm, roof insulation of a minimum of 300mm quilt or 150mm rigid board, double glazed windows with trickle vents and a minimum of 150mm rigid board under floor insulation. Heating would be by under floor pipe networks and a minimum requirement for gas fired condensing boilers or preferably Air source heat pumps as the source of heat.

The result of this level of specification is to seek an increase in insulation performance and heat loss of at least 10% above that required by Building Control in order to reduce carbon emissions.

2) TRANSPORT

Each dwelling will have an electric vehicle charging point situated in an appropriate position against the dwelling on a private driveway or under a car port.

Each dwelling will have an enclosed secure cycle store to be situated within the privately enclosed garden of the dwelling it serves. All gardens are accessible from an external route without going through the dwelling.

3) REFUSE

All kitchens will be provided with appropriate recycling under top containers.

Within the rear gardens of each dwelling, there will be a hardstanding for the storage of separate recycling containers as required by Pendle Borough Council. These will be brought to the front of the dwelling on the appropriate collection day and then returned to their individual garden after emptying.

4) DRAINAGE

Each property and shared surface will have storm water drainage which will be routed into a Sustainable Urban Drainage System. This is fully detailed by Wardell Armstrong as noted elsewhere in this DAS. The soft landscape plan identifies the principle features of ponds, swales and ditches. The principle of the SUDS is to ensure that there is no increased level or rate of storm water run-off or flooding arising within or without the site as a result of the development.

4) APPLICATION PROPOSALS

h) Design for Sustainability - External Areas

LOCATION

The site lies on the eastern edge of Colne and is located close to a host of general facilities for shopping, leisure, education, worship and employment. Whilst it is on the eastern edge of the settlement, all of these facilities lies within a 15minute walk (1KM) from the centre of the site.

PUBLIC TRANSPORT

Colne is well served by public transport with a variety of bus routes and a railway station. If local bus companies see that an extension to their routes to come within the site is viable, the provision exists for a north and south bound stop to be located within the principle vehicular route in the development shown here.

ELECTRIC VEHICLES

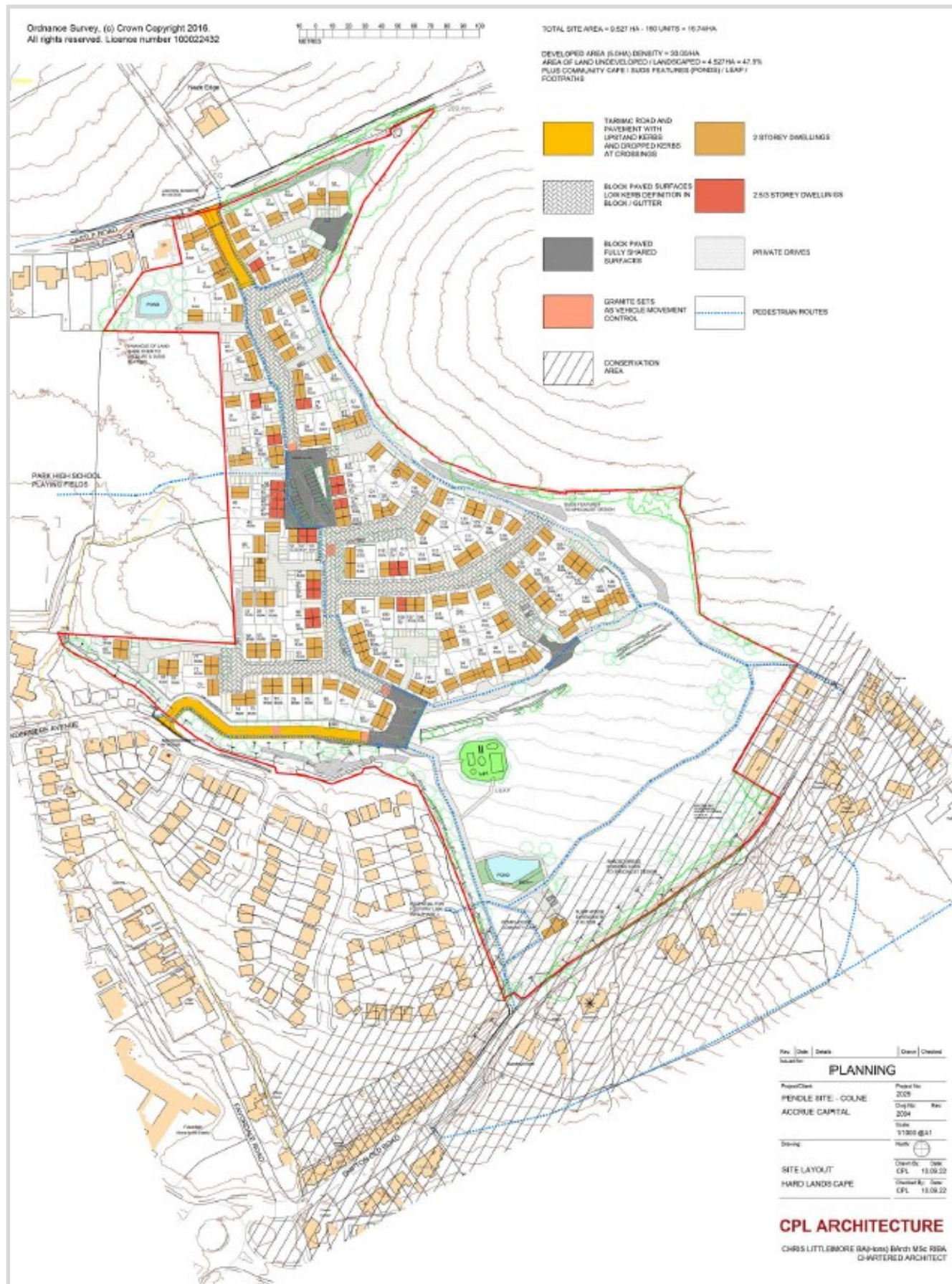
Each dwelling will have an electric vehicle charging point as noted elsewhere. There will also be electric vehicle charging points at the principle visitor parking locations in each of the two squares (Character Areas 1) within the development.

CYCLE ROUTES

A cycle route through the development is identified later in this document.



5) ACCESS



The arrangements for access have featured in several other areas of this DAS.

The document manual for Streets provides essential guidance for access and roads, shared surface and the general design of the facilities for vehicular and pedestrian movement within the project, all of which is heeded in this design proposal.

With regard to the principle points of access, detailed proposals have been formulated by Vectos on their drawings and report. It should be noted that 'Access' is not a reserved matter in this application and Vectos have prepared a full highways assessment and plan which should be read in conjunction with this document.

ACCESS FROM THE NORTH

An amended point of site access is to be constructed from Castle Road to the north to their detailed design which will entail the amendment of the carriageway and footway. This will be constructed by means of a new bell-mouth entrance in tarmac with pavements to both sides which will in turn after a short distance change to a shared surface in keeping with the design ethos of the development. The requisite road and footway / service widths are established as appropriate for the level of development within their proposal. This route could be used by cycles.

ACCESS FROM THE WEST

A new access is to be formed from Windermere Avenue. The height difference between the existing road level and the site will be absorbed by a new road running east west which will in effect enter the development in the southern square. Again, detailed proposals by Vectos form part of this application for this road and pavement.

ACCESS FROM THE SOUTH AND EAST

Existing points of pedestrian access are maintained and enhanced in each of these locations. The footpath and right of way at each of these points will be enhanced and formed from a hoggin surface providing access to the new public benefits within the development of the Pump House Café and Children's LEAP.

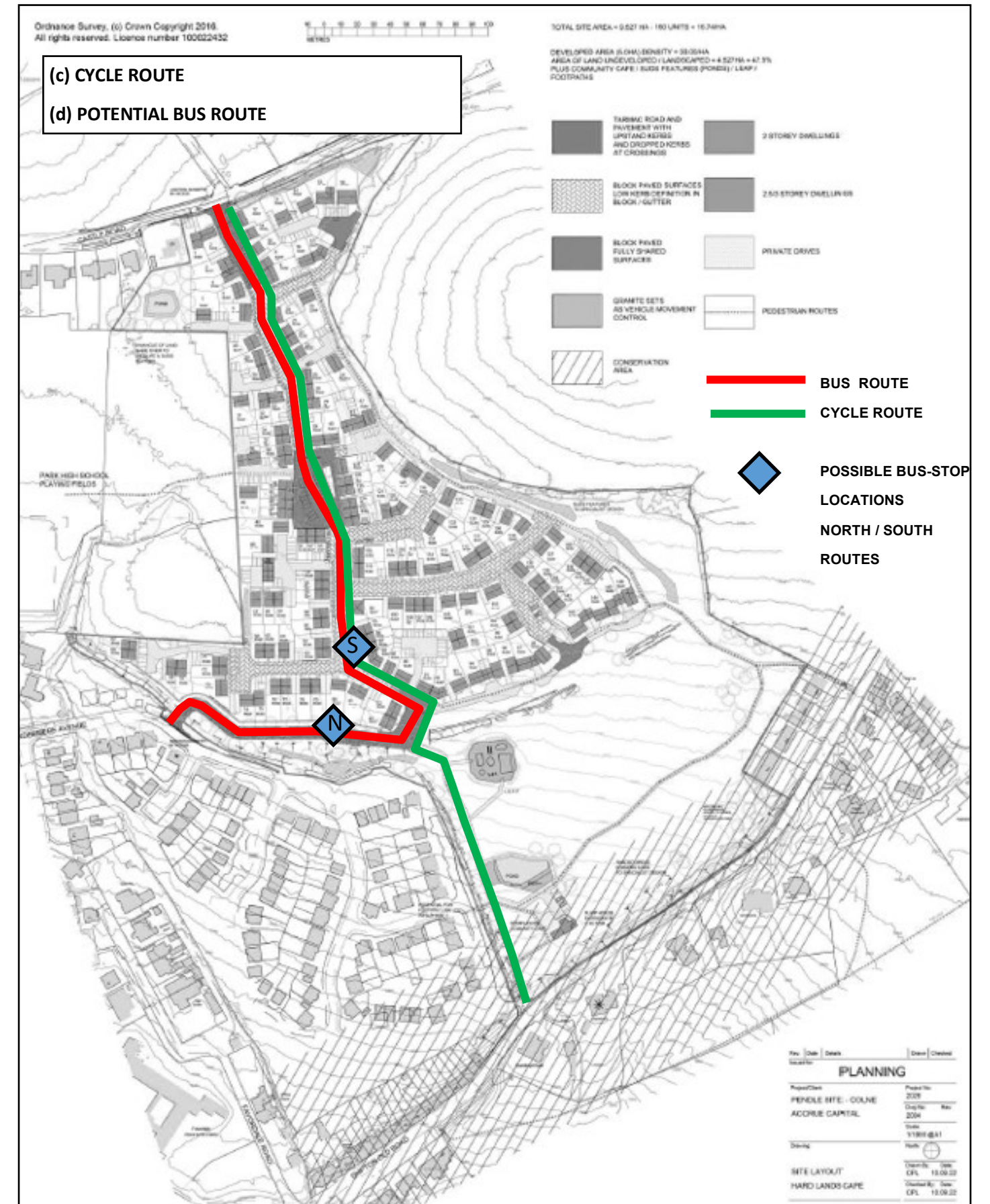
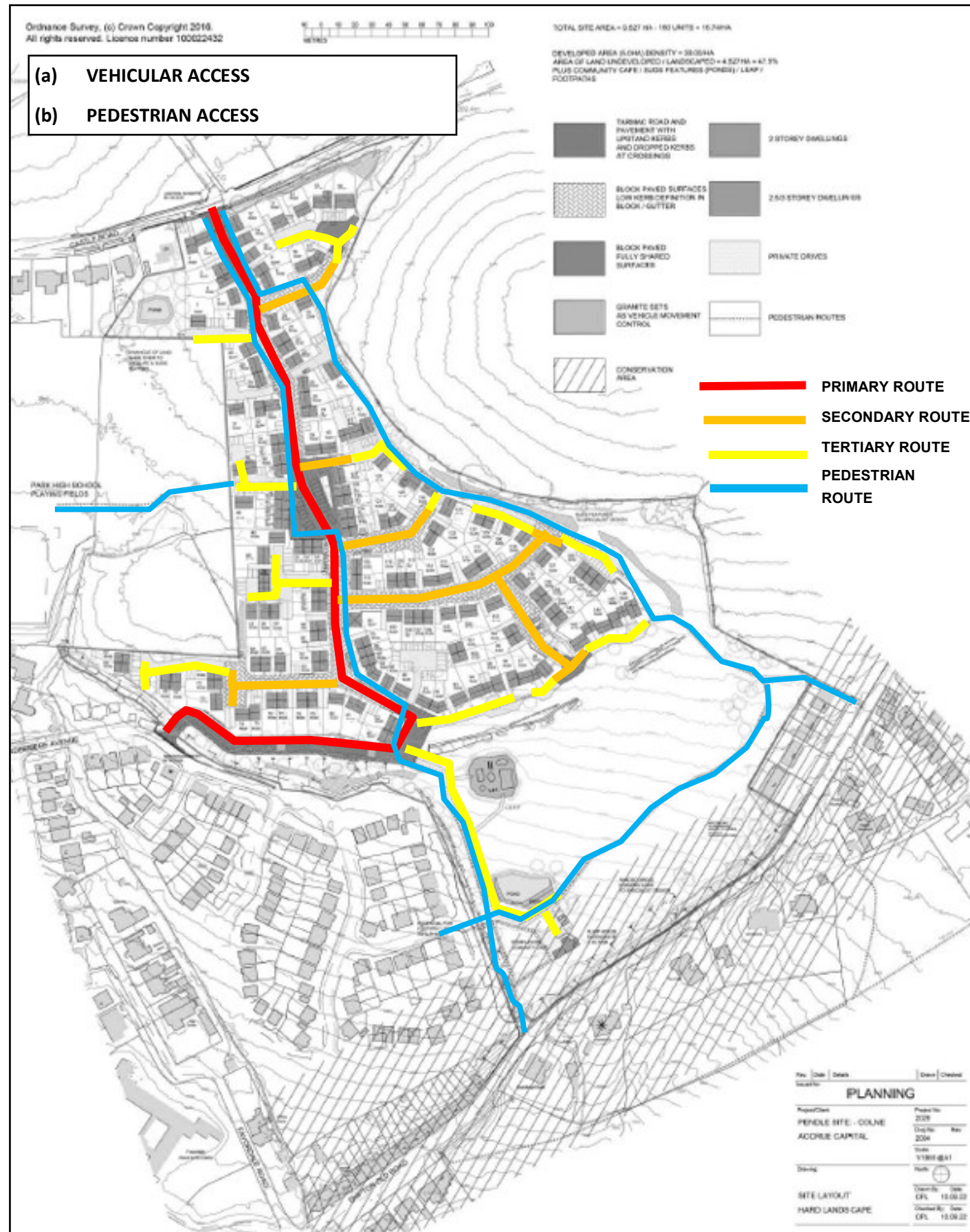
No vehicular access is proposed from Skipton Old Road.

Each of the roads and shared surfaces have appropriate materials as detailed on the plan here.

The above routes are illustrated in graphic form on the two plans opposite.

5) ACCESS

a) Vehicular Access b) Pedestrian Access c) Cycle Route d) Public Transport



6) KEY VIEWS
VERIFIED VIEW 1



VERIFIED VIEW 1 - EXISTING

LOOKING UP SKIPTON OLD ROAD
EXISTING DERELICT PUMP HOUSE VISIBLE
NONE OF THE DEVELOPMENT SITE BEYOND
PUMP HOUSE IS VISIBLE



VERIFIED VIEW 1 - PROPOSED

RENOVATED AND EXTENDED PUMP HOUSE CAFE
IS VISIBLE

NO OTHER PROPOSED IS VISIBLE FROM THIS VIEWPOINT

Rev	Date	Details	Drawn	Checked
Issued for				
PLANNING				
Project No.		2029	Rev	
Project Name		LAND TO EAST OF WINDERMERE AVE COLNE, PENDLE ACCRUE CAPITAL	3001	
Drawing		NTS	Scale	
Key Verified View 1		CPL 14.05.22	CPL 14.05.22	
CPL ARCHITECTURE				
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6) KEY VIEWS

VERIFIED VIEW 2



VERIFIED VIEW 2 - EXISTING

FROM SKIPTON OLD ROAD LOOKING NORTH NORTH EAST INTO THE SITE AT THE START OF THE UNMADE FOOTPATH WHICH CROSSES THE SITE



VERIFIED VIEW 2 - PROPOSED

ONE VERY SMALL ROOF RIDGE AND CHIMNEY ARE VISIBLE ABOVE THE GRASS HORIZON. THIS IS SHOWN WITHIN THE LENGTH OF GREEN LINE. ALL OTHER DEVELOPMENT IS SCREENED OR OUT OF SIGHT FROM THIS VIEW BY THE NATURAL TOPOGRAPHY.

THE PROFILE (VISIBLE AND HIDDEN) OF PROPOSED ROOFSCAPE IS SHOWN WITH A RED LINE

Site	Client	Details	Drawn	Checked
100000000				
PLANNING				
Project Name	Project No.	Project Date	Project Status	Project Stage
LAND TO EAST OF WINDERMERE AVE	2022	2022	2022	2022
COLNE, PENDLE	3002	3002	3002	3002
ACCURUS CAPITAL	NTS	NTS	NTS	NTS
KEY VERIFIED VIEW 2				
Drawn By	Drawn On	Drawn Date	Drawn Date	Drawn Date
CPL 14.09.22	CPL 14.09.22	CPL 14.09.22	CPL 14.09.22	CPL 14.09.22
CPL ARCHITECTURE				
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6) KEY VIEWS
VERIFIED VIEW 3



VERIFIED VIEW 3 - EXISTING
ON SKIPTON OLD ROAD LOOKING SOUTH WEST
DOWN THE HILL.



VERIFIED VIEW 3 - PROPOSED
THERE IS NO EXTENT OF THE PROPOSED DEVELOPMENT VISIBLE
IN THIS VIEW



Rev.	Date	Details	Drawn	Checked
PLANNING				
Project Name		LAND TO EAST OF WINDERMERE AVE COLNE, PENDLE ACCRUE CAPITAL		
Project No.		2029		
Client Ref.		3003		
Client		MTS		
Drawing		KEY VERIFIED VIEW 3		
Drawn By		CPL 14.05.22		
Checked By		CPL 14.05.22		
CPL ARCHITECTURE				
CHRIS LITTLEMORE (BA(Hons)) BA(Env) MSc RIBA CHARTERED ARCHITECT				
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6) KEY VIEWS

VERIFIED VIEW 4




VERIFIED VIEW 4 - EXISTING

ON SIKPTON OLD ROAD LOOKING SOUTH WEST DOWN THE HILL.



VERIFIED VIEW 4 - PROPOSED

THERE IS NO EXTENT OF THE PROPOSED DEVELOPMENT VISIBLE IN THIS VIEW

Rev	Date	Details	Drawn	Checked
Revised for				
PLANNING				
Project/Client			Project No	
LAND TO EAST OF WINDERMERE AVE COLNE, PENDLE ACCRUE CAPITAL			2029	
			Client Ref	Rev
			3004	
Drawing			Scale	
NTS				
KEY VERIFIED VIEW 4			CPL 14.09.22	
			CPL 14.09.22	

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6) KEY VIEWS

VERIFIED VIEW 5



VERIFIED VIEW 5 - EXISTING

TAKEN FROM CENTRE OF OPEN GRASS AT LOWER END OF SITE IN A LOCATION WHERE THERE IS A POTENTIAL DESIRE LINE FOR PEDESTRIANS TO CROSS BETWEEN THE TWO UNMADE FOOTPATHS RUNNING NORTH-SOUTH AND NORTH-WEST TO SOUTH-EAST. THE DERELICT PUMP HOUSE IS VISIBLE AS ARE THE NEW DWELLINGS BUILT IN THE CONSERVATION AREA ON THE LAND IMMEDIATELY TO THE WEST OF THE PROPOSED DEVELOPMENT SITE BY MCDERMOTT HOMES



VERIFIED VIEW 5 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS THE REFURBISHED AND EXTENDED PUMP HOUSE IN ITS PROPOSED USE AS A COMMUNITY CAFE. NEW TREE PLANTING SOFTENS THE IMPACT OF THE MCDERMOTT DEVELOPMENT. THERE IS A SOFT FINISHED PATH (HOGGIN) CONNECTING THE TWO MAIN PEDESTRIAN ROUTES WHICH CROSS THE SITE AS DESCRIBED ABOVE. THIS PATH LINKS TO THE NEW COMMUNITY CAFE AND ALSO PROVIDES THE POTENTIAL FOR A PEDESTRIAN LINK INTO THE MCDERMOTT HOMES DEVELOPMENT WHERE NONE EXISTS AT PRESENT.

Rev	Date	Details	Drawn	Checked
1				
PLANNING				
Project Name	2029			
LAND TO EAST OF WINDERMERE AVE	2025			
COLNE, PENDLE	NTS			
ACCRUE CAPITAL	NTS			
Drawing	North			
KEY VERIFIED VIEW 5	CPL 14.09.22			
	CPL 14.09.22			
CPL ARCHITECTURE				
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6) KEY VIEWS

VERIFIED VIEW 6



VERIFIED VIEW 6 - EXISTING

TAKEN FROM THE POINT ON THE EXISTING UNMADE FOOTPATH CROSSING THE SITE FROM NORTH-WEST TO SOUTH EAST, WHERE THE LAND STARTS TO DROP TOWARDS THE HOUSES BUILT ON THE NORTH SIDE OF SKIPTON OLD ROAD IN THE SOUTH-EAST CORNER OF THE SITE.



VERIFIED VIEW 6 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS THE NEW SOFT FINISHED FOOTPATH (HOGGIN) TO PROVIDE A BETTER LINE OF CONNECTIVITY BETWEEN SKIPTON OLD ROAD AND CASTLE ROAD TO THE NORTH. SOME ADDITIONAL ENHANCED TREE PLANTING IS ALSO SHOWN. THERE IS NO OTHER CHANGE FROM THIS VIEWPOINT.

Drawn	Chris Littlemore	Checked	
Project Name	PLANNING		
Project Ref	2029	Project Ref	
Eng Ref	3056	Eng Ref	
Client	NTS	Client	
Drawing	KEY VERIFIED VIEW 6	Drawing	
Drawn By	CPL 14.09.22	Drawn By	
Checked By	CPL 14.09.22	Checked By	
CPL ARCHITECTURE			
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6) KEY VIEWS
VERIFIED VIEW 7



VERIFIED VIEW 7 - EXISTING

TAKEN FROM THE POINT IN A CENTRAL LOCATION ON THE SITE WHERE THERE IS NO UNMADE PATH OR OTHER IMPLIED ROUTE. THIS IS AROUND 18M TO THE NORTH OF A LINE OF EXISTING LOW HAWTHORN TREES AND DITCH-LINE WHICH IS TO BE RETAINED. THE GAP IN THIS DITCH-LINE OFFERS A VIEW OVER THE CONSERVATION AREA AND TO THE MOORLAND BEYOND.



VERIFIED VIEW 7 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS NO MATERIAL CHANGE OTHER THAN THE PRESENCE OF SOME TREE PLANTING TO THE SOUTH-EAST CORNER OF THE SITE AND PLANTING TO ENHANCE THE LINE OF TREES AT THE SOUTHERN BOUNDARY OF THE SITE.

Rev	1	Date	14.09.22	Drawn	Chris	Checked	
PLANNING							
Project Name				Project No			
LAND TO EAST OF WINDERMERE AVE				2029			
Client				Drawn By		Chris	
COLNE, PENDLE ACCRUE CAPITAL				3007			
Scale				MTS			
Drawing				Middle			
KEY VERIFIED VIEW 7				Drawn By		Chris	
				CP		14.09.22	
				Checked By		Chris	
				CP		14.09.22	

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6) KEY VIEWS

VERIFIED VIEW 8



VERIFIED VIEW 8 - EXISTING

TAKEN FROM THE HIGHEST POINT ON THE EXISTING UNMADE FOOTPATH RUNNING FROM NORTH-WEST TO SOUTH-EAST ACROSS THE SITE. THIS VIEW AFFORDS A VIEW ACROSS THE CONSERVATION AREA LOOKING SOUTH-EAST.



VERIFIED VIEW 8 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS THE END OF THE SHARED SURFACE PRIVATE DRIVE SERVING PLOT NO 147 WHERE THE DRIVE NARROWS TO CONTINUE AS A FOOTPATH RUNNING TOWARDS SKIPTON OLD ROAD ON THE LINE OF THE EXISTING UNMADE PATH.

NO MATERIAL CHANGE EXISTS OTHER THAN THE INTRODUCTION OF A SUDS DRAINAGE DITCH IN THE FOREGROUND AND THE PRESENCE OF SOME TREE PLANTING TO THE SOUTH-EAST CORNER OF THE SITE AND PLANTING TO ENHANCE THE LINE OF TREES ON THE SOUTHERN BOUNDARY.

Save	Cancel	Details	Errors	Comments
Selected for				
PLANNING				
Project/Client		Project/No.		
LAND TO EAST OF WINDERMERE AVE COLNE, PENDE ACCRUE CAPITAL		2029		
		Type/No. (Ref)		
		2028		
		Status		
		NTS		
Drawing		North		
KEY VERIFIED VIEW II				

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6) KEY VIEWS

VERIFIED VIEW 9



TAKEN FROM THE POINT ON THE EXISTING UNMADE FOOTPATH RUNNING FROM NORTH TO SOUTH ACROSS THE SITE WHERE THE VIEW OVER THE CONSERVATION AREA APPEARS FROM BEHIND THE NEW HOUSING DEVELOPMENT BY MCDERMOTT HOMES. THIS IS WHERE THE PATH ROUTE CROSSES THROUGH A DITCH LINE AND HEADS DIRECTLY DOWN TO SKIPTON OLD ROAD.
THE EXISTING DERELICT PUMP HOUSE IS CLEARLY SEEN.



THE PROPOSED VIEW FROM THIS LOCATION SHOWS THE EXTENDED REFURBISHED PUMP HOUSE WHICH BECOMES A COMMUNITY CAFE AS PART OF THE PROPOSALS. THERE IS A PROPOSED PRIVATE SHARED SURFACE ACCESS TO THE CAFE FOR ACCESSIBLE PARKING AND THE OCCASIONAL DELIVERY. THIS ROUTE ALSO ACTS AS THE CONTINUATION OF THE LINE OF THE EXISTING PUBLIC RIGHT OF WAY FOOTPATH RUNNING FROM CASTLE ROAD IN THE NORTH DOWN TO SKIPTON OLD ROAD. THIS ROUTE CAN ALSO ACT AS A CYCLE ROUTE TO LINK CASTLE ROAD WITH SKIPTON OLD ROAD.



6) KEY VIEWS VERIFIED VIEW 10



VERIFIED VIEW 10 - EXISTING


TAKEN FROM A DISTANT FOOTPATH TO THE SOUTH EAST OF THE SITE ON THE SOUTH SIDE OF SKIPTON OLD ROAD AND WITHIN THE CONSERVATION AREA. THIS UNMADE FOOTPATH RUNS EAST TO WEST AND THERE IS A GLIMPSE VIEW OF THE UPPER PARTS OF THE PROPOSED DEVELOPMENT SITE.

THIS VIEW IS FRAMED BY THE EXISTING DWELLINGS ON THE SOUTH SIDE OF SKIPTON OLD ROAD AND HAS VARIOUS TREES WITHIN THE SETTING.



VERIFIED VIEW 10 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS DISTANT ROOFSCAPE OF THE PROPOSED DEVELOPMENT ALONGSIDE ADDITIONAL TREES TO BE PLANTED AS PART OF THE PROPOSALS. THE ROOFSCAPE FOLLOWS THE LINE OF THE DISTANT HORIZON WITH THE IMPACT BEING MINIMAL AND OF NO MATERIAL HARM TO THE SETTING OR APPEARANCE OF THE CONSERVATION AREA.

Rev	Date	Details	Drawn	Checked
Issued for				
PLANNING				
Project/Client		Project No		
LAND TO EAST OF WINDERMERE AVE COLNE, PENDLE ACURUE CAPITAL		2029		
		Emp No	Site	
		3010		
		Scale		
		NTS		
Drawing		North		
KEY VERIFIED VIEW 10				
		Drawn By	CPL 14.09.22	
		Checked By	CPL 14.09.22	

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6) KEY VIEWS
INDICATIVE VIEW 11



INDICATIVE VIEW 11

TAKEN FROM A SIMILAR VIEWPOINT AS VERIFIED VIEW 9 BUT THIS IS LOOKING EAST ALONG THE NEW SOUTHERN EDGE OF THE BUILT DEVELOPMENT. THE RETAINED DITCHLINE AND HAWTHORN TREES (WITH SOME ENHANCEMENT PLANTING) ARE CLEARLY SHOWN AS IS THE ENHANCED PLANTING TO THE EASTERN BOUNDARY

THIS TYPIFIES CHARACTER AREA 3 AS DESCRIBED IN THE DESIGN AND ACCESS STATEMENT BY CPL ARCHITECTURE

Rev	Date	Details	Drawn	Checked
PLANNING				
Project No.	2029			
Land to East of Windermere Ave Colne, Pendle Accrue Capital	2011			
NTS				
INDICATIVE VIEW 11				
CPL	14.05.22			
CPL	14.05.22			

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6) KEY VIEWS

INDICATIVE VIEW 12



INDICATIVE VIEW 12

TAKEN FROM THE FOOTPATH RUNNING DOWN TO SKIPTON OLD ROAD ADJACENT TO THE PROPOSED CHILDRENS PLAY AREA WHICH IS SET INTO THE SLOPE SO IS NOT VISIBLE FROM THIS VIEWPOINT. THE WALKWAY ALONG THE NORTH SIDE OF THE NEW POND IS VISIBLE AS IS THE POND AND THE NEW COMMUNITY CAFE CREATED FROM THE REFURBISHED AND EXTENDED PUMP HOUSE.

Item	Date	Details	Drawn	Checked
PLANNING				
Proposed	2023	LAND TO EAST OF WINDERMERE AVE COLNE, PENDLE ACCRUE CAPITAL		
Drawn	2023			
Checked	2023			
INDICATIVE VIEW 12				
CPL ARCHITECTURE				
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6) KEY VIEWS
INDICATIVE VIEW 13



INDICATIVE VIEW 13

TAKEN FROM A THE PROPOSED MAIN ACCESS ROAD THROUGH THE DEVELOPMENT LOOKING NORTH TOWARDS THE CENTRAL SQUARE. THE SHARED SURFACE NATURE OF THE ROAD AND PATHS IS VISIBLE TOGETHER WITH THE CHARACTER OF THE DWELLINGS WHICH IS DRAWN FROM THE LOCAL VERNACULAR LANGUAGE OF MATERIALS, DETAILS AND FORM. IN THE DISTANCE, THE MOORLAND TO THE NORTH IS VISIBLE.

THIS VIEW IS TYPICAL OF CHARACTER AREA 2

Rev	Date	Details	Drawn	Checked
Revised by				
PLANNING				
Project No.	2029	Project No.	2029	
Title No.	3013	Title No.	3013	
Scale	1:500	Scale	1:500	
Date	14.05.22	Date	14.05.22	
INDICATIVE VIEW 13				
Drawn by	CPL	Checked by	CPL	
Date	14.05.22	Date	14.05.22	
CPL ARCHITECTURE				
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6) KEY VIEWS

INDICATIVE VIEW 14



INDICATIVE VIEW 14

TAKEN FROM A THE PROPOSED MAIN ACCESS ROAD THROUGH THE DEVELOPMENT LOOKING SOUTH INTO THE CENTRAL SQUARE. THE SHARED SURFACE NATURE OF THE ROAD AND PATHS IS VISIBLE TOGETHER WITH THE CHARACTER OF THE DWELLINGS WHICH IS DRAWN FROM THE LOCAL VERNACULAR LANGUAGE OF MATERIALS, DETAILS AND FORM. IN THE DISTANCE, THE MOORLAND TO THE SOUTH IS VISIBLE.

THIS TYPICAL OF THE CHARACTER AREA 1 AS DESCRIBED IN THE DESIGN AND ACCESS STATEMENT BY CPL ARCHITECTURE

Rev	Date	Details	Drawn	Checked
1	14.05.22	PLANNING		
2	14.05.22	LAND TO EAST OF WINDERMERE AVE		
3	14.05.22	COLNE, PENDLE		
4	14.05.22	ACCURUE CAPITAL		
5	14.05.22	INDICATIVE VIEW 14		
6	14.05.22			

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6) KEY VIEWS

INDICATIVE VIEW 15



INDICATIVE VIEW 15

TAKEN FROM A THE NORTHERN END OF THE PROPOSED MAIN ACCESS ROAD LOOKING SOUTH. THIS AND THE CENTRAL SQUARE ARE THE DENSEST PARTS OF THE DEVELOPMENT DRAWING THEIR CHARACTER FROM LOCAL SETTLEMENTS IN TERMS OF HOUSE FORM, DETAIL AND MATERIALS.

THE ORGANIC LINEAR NATURE OF THE STREET TYPIFIES CHARACTER AREA 2 AS DESCRIBED IN CPL ARCHITECTURE DESIGN AND ACCESS STATEMENT

Rev	Date	Details	Drawn	Checked
PLANNING				
Project Name		2029		
Project No		2015		
Client		MTS		
Drawing		INDICATIVE VIEW 15		
Drawing No		CPL 14.09.22		
Drawing Date		CPL 14.09.22		

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The site presents an opportunity to fill in, enclose and form a new edge to the settlement of Colne having been previously identified as land suitable for this purpose by the Local Authority. The proposal is for up to 150 new dwellings (Use Class C3) with parking and landscaping, new children's facilities and the provision of a new community asset in the form of The Pump House Café from an existing derelict building on site.

The proposal will provide much needed family accommodation within the area and help reduce the current deficit of housing supply.

The proposals have given considerable attention to the previous applications and appeals on the site and the reasons for refusal and dismissal of the appeal 'B'. Significant changes have been made in these proposals and the designs now shown represent a completely different approach to the relationship of the development with the conservation area. This is demonstrated by the Verified Views from 10 Key Viewpoints showing before and after photographs and 3D CGI Verified Images.

The result is, in the opinion of the design team, there is no material harm to the conservation area arising from these proposals.

The proposals have been designed giving full consideration to key nationally recognised criteria as well as local residential design guidance.

The national criteria are summarised in the Building for a Healthy Life summarised as providing good solutions to each of the following headings:-

- 1) Natural Connections
- 2) Facilities and Services
- 3) Walking Cycling and Public Transport
- 4) Meeting local housing requirements - Homes for Everyone
- 5) A Memorable Character
- 6) Working with the site and its context
- 7) Creating well defined streets and spaces
- 8) Easy to find your way around
- 9) Healthy Streets for All
- 10) Cycle and Car Parking
- 11) Public and private spaces - Green and Blue Infrastructure
- 12) External storage and amenity space - Back of Pavement / Front of Home

When examined against each of the above design topics, the proposals score in CPL Architecture's view, a good or better than average rating under each topic. There are no areas where the proposals significantly fail to meet the requirements of the recommended standards in the 'Building for a Healthy Life' criteria and as such, the proposals represent a 'good place to live, in well designed homes and in a well designed neighbourhood'.

Whilst the dwellings are generally small, they are addressing directly the market need for such accommodation and all units comply with the National Development Space Standards.

Technical matters of Planning, Highways, Heritage, Ecology, Landscape, Drainage, Contamination, Acoustics, have all been considered within the evolution of the proposals and separate reports are submitted in each of these disciplines as part of the application.

As such, the proposals form a sound development proposal to provide attractive dwellings within the parameters of the National and Local Planning guidance and Pendle Borough Council is therefore requested to approve the proposals.

CPL Architecture Limited

Directors:- Chris Littlemore BA(Hons), BArch, MSc, RIBA - Chartered Architect : Jane Littlemore

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Registered No:- 10039649

OUTLINE PLANNING PERMISSION FOR UP TO 150 NEW HOMES; REFURBISHMENT AND EXTENSION OF AN EXISTING PUMP HOUSE BUILDING AND ITS CHANGE OF USE TO A CLASS E OR CLASS F COMMUNITY USE; FORMATION OF A NEW MEANS OF ACCESS ONTO WINDERMERE AVENUE; ALTERATIONS TO AN EXISTING MEANS OF ACCESS ONTO CASTLE ROAD; AND OTHER ASSOCIATED WORKS

**APPENDIX TO DESIGN AND ACCESS STATEMENT IN SUPPORT OF AN OUTLINE PLANNING APPLICATION TO PENDLE BOROUGH COUNCIL
WINTER SEASON PANORAMIC VERIFIED VIEWS**

APPENDIX 1

WINTER PANORAMIC VERIFIED VIEWS

CPL ARCHITECTURE

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CHARTERED ARCHITECT

13.04.2023

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d)	VIEW 8	9
e)	VIEW 9	10
f)	VIEW 10	11
g)	EDP VIEW 4	12 & 13

NOTE:-
FULL DETAILS OF THESE VERIFIED VIEWS ARE ISSUED SEPARATELY IN SUPPORT OF THIS APPLICATION. THIS APPENDIX TO THE DESIGN AND ACCESS STATEMENT GIVES A SUMMARY OF EACH WINTER PANORAMIC VIEW. THE FULL SEPARATE DETAILS ARE ALL ISSUED AT THE CORRECT SCALES AND FORMATS TO COMPLY WITH THE LANDSCAPE INSTITUTE GUIDANCE AND REQUIREMENTS. EACH SYNOPSIS VIEW CONTAINED WITHIN THIS DOCUMENT IS THEREFORE SUPPORTED BY SEPARATE FILES NAMED AS FOLLOWS:-

- 0788-VH3D– COLNE-WINTERP-VIEWPOINT 2
 - 0788-VH3D-COLNE-WINTERP-VIEWPOINT 5
 - 0788-VH3D-COLNE-WINTERP-VIEWPOINT 6
 - 0788-VH3D-COLNE-WINTERP-VIEWPOINT 8
 - 0788-VH3D-COLNE-WINTERP-VIEWPOINT 9
 - 0788-VH3D-COLNE-WINTERP-VIEWPOINT 10
 - 0788-VH3D-COLNE-WINTERP-EDP VIEWPOINT 4
- A FILE OF ALL WINTER VIEWS IS CONTAINED IN 0788-VH3D-COLNE-WINTERP-ALL

EACH OF THE ABOVE FILES CONTAIN THE FOLLOWING SUITE OF INFORMATION

- 1) METHODOLOGY STATEMENT
- 2) PHOTOGRAPHY STATEMENT AND KEY
- 3) 90 DEGREE BASELINE PANORAMA
- 4) 90 DEGREE BASELINE WIREFRAME PANORAMA
- 5) 53.5 DEGREE WIRELINE PANORAMA
- 6) 53.5 DEGREE PHOTOMONTAGE PANORAMA

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PLANNING STATEMENT AND APPLICATION
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CPL ARCHITECTURE
ARCHITECTURE
VISUAL HORIZONS 3D (IMAGERY)

VECTOS
TRANSPORT ASSESSMENT AND TRAVEL PLAN

ENVIRONMENTAL DESIGN PARTNERSHIP
LANDSCAPE STRATEGY AND VISUAL IMPACT
ASSESSMENT

LANPRO SERVICES
HERITAGE STATEMENT AND IMPACT
ASSESSMENT

THE ENVIRONMENT PARTNERSHIP
BIODIVERSITY SURVEY AND REPORT
ARBORICULTURAL SURVEY AND REPORT

LEXINGTON COMMUNICATIONS
COMMUNICATIONS CONSULTANTS

WARDELL ARMSTRONG
FLOOD RISK AND DRAINAGE STRATEGY

HOARE LEA
NOISE IMPACT ASSESSMENT

REDMORE
AIR QUALITY ASSESSMENT

BROWNFIELD SOLUTIONS
LAND CONTAMINATION ASSESSMENT (PH1)

LANCASHIRE POLICE

INTRODUCTION

The property which is the subject of this Outline Planning Application is situated on land to the east of Windermere Avenue on the east side of the town of Colne in the district of Pendle Borough Council. This Design and Access Statement is to be read in conjunction with all other consultants reports and specifically the Planning Statement by Maddox Planning, the agent for this application.

APPLICANT

ACCRUE CAPITAL LTD

SITE ADDRESS

LAND OFF WINDERMERE AVENUE, COLNE, LANCASHIRE, BB8 7DW

APPENDIX TO THE DESIGN AND ACCESS STATEMENT

This Appendix to the Design and Access Statement prepared by CPL Architecture provides a summary of the 6 Key Views by CPLA Architecture and one Key View from the EDP LVIA Document. These show the extent of any change between the existing and proposed views. These views are based upon photography taken in winter when there is minimal tree foliage present. The summary provides a commentary on each of the existing and proposed views. The reader should be aware of the notes opposite and the technical nature of the separately issued photographs, methodology and photomontages; all prepared fully in line with the Landscape Institute guidelines and recommendations. This appendix should be read with these full details and the main Design and Access Statement.

THE APPLICATION DESCRIPTION

Outline planning permission for up to 150 new homes; refurbishment and extension of an existing Pump House building and its change of use to a Class E or Class F Community Use; formation of a new means of access onto Windermere Avenue; alterations to an existing means of access onto Castle Road; and other associated works.

METHODOLOGY 1

OVERVIEW

The methodology described here follows the recommendations set out in the Guidelines for Landscape and Visual Impact Assessment 3rd edition (GLVIA3), The Landscape Institute Visual Representation of Development Proposals (Technical Guidance Note 06/19) and, where appropriate, Scottish National Heritage (Nature Scot) Visual Representation of Wind Farms.

The visual representations in this document are of the proposed new development at land east of Windermere Avenue, Colne, Pendle, designed by CPLARCHITECTURE. The views are created by Visualhorizon3D. In this instance the view locations were instructed by CPL ARCHITECTURE, after consultation with the relevant local authority and Professional consultants.

We were instructed to create type 4 panoramas for these winter views. Therefore, the recommended 90° baseline cylindrical photograph and matching wireframe were produced (A1 paper width) together with the recommended 53.5° planar wireframe and matching photomontage (also A1 paper width).

It should be noted, as The Landscape Institute Technical Guidance Note 06/19 (1.2.13) states, ‘Two-dimensional visualisations, however detailed and sophisticated, can never fully substitute what people would see in reality. They should, therefore, be considered an approximation of the three-dimensional visual experiences that an observer might receive in the field.’

VIEWPOINT PANORAMA PHOTOGRAPHY

Photography was undertaken by Visualhorizon3d on 9th February 2023 (except view 2, which was 10th February 2023). A Nikon D610 full frame sensor digital camera was used together with a fixed 50mm lens. All efforts were made to take the photographs in good weather conditions. Descriptions and reference photographs were used to easily find the view locations once on site.

It is important that the camera is horizontal and steady. A heavy-duty tripod was set up over the required locations at 1.5M height and a Tribrach leveller fixed on top. A tribrach leveller allows accurate placement over the location as well as allowing levelling ability in the horizontal and vertical planes.

The camera was fixed to a panoramic nodal slider with rotating indexer and adjusted to ensure the camera rotated about the no-parallax point of the lens. This eliminates parallax between successive images and enables accurate stitching of said images later on in the process. These were then fixed to the Tribrach and it was then levelled. The camera was checked again with a spirit level in the vertical and horizontal axis.

The camera was set to manual mode for consistency of focus and exposure throughout the panoramic photographs. Each rotation increment allowed for 50% overlap of images. The location of each viewpoint tripod was also photographed. The location of the camera was recorded by the accompanying surveyor.

Images were captured using the camera RAW file format. These contain the raw information captured by the camera sensor and also allow the photographs to be verified by a third party, if required.

SURVEYING

A professional measured building and land surveyor accompanied the photographer and carried out the surveying work for each view.

The surveyor is supplied with an existing site survey and the surveyed points are accurately coordinated into this file using traditional and accepted surveying methods. This can then all be used later in the camera matching process, discussed later. For each view the camera location was surveyed and static points, seen in the camera field of view (FOV), were also surveyed.

These points must be fixed, for example corners of buildings, fixed street furniture, corners of windows and edges of roads and these points are used to check horizontal and vertical alignment when camera matching. Electronic theodolite and reflectorless laser technology was used to locate each static point and is to a tolerance of +/-5mm. The static points were numbered and all Eastings, Northings and levels Above Ordnance Survey Datum (AOSD) information recorded for each. The points were marked and numbered on the final photograph to be used for camera matching for each view. The surveyor's information was supplied as a combination of CAD file, digital images and a text document, with written descriptions for each point.

PHOTOGRAPH STITCHING

Specialist software called Hugin was used to stitch the photographs as cylindrical panoramas. Identical points in the overlapping photos can be either created manually or by the software. This allows the software to create a very accurate panoramic stitch. The images are cropped to the recommended 90°. Optical distortion was removed from the photographs to assist the camera matching process later on.

3D MODEL AND CAMERA MATCHING

CAD drawings were supplied by the architect, including a 2D and 3D topographical site survey, plans, elevations and sections. These explain the construction, position and layout of the proposed development.

Using this information, an accurate 3D model was created in 3D computer graphics software (3D software) called Autodesk 3ds Max with Vray as the renderer. Positions were cross-checked against the supplied information. The 3D model was then accurately positioned over the supplied topographical plans and placed at the correct specified height. The surveyor's information was imported into the 3D software file and correctly overlaid on the topographical plans, ensuring all data was in the correct relationship.

For the wireframe images the recommended documentation requires a Digital Terrain model (DTM) to be used in the views. In this instance the DTM was downloaded from the ordnance survey website as an 'OS terrain 50' model. This was incorporated into the 3D file and was an area large enough to show the distant hills and peaks in the wireframe views. As the height accuracy of this project's 3D Topographical survey is far higher than that of the OS Terrain 50 DTM, the imported DTM file was thus moved down to sit on the 3D file.

For each camera location the relevant 90° cylindrical panorama photograph was used as a background to camera match against. These were shown on screen in the 3D software, and the virtual cameras were located in the correct location and height (using the surveyors coordinates). The real-world camera lens information was input to the corresponding virtual cameras. The output image size for each camera was set to be identical to that of each corresponding background 90° cylindrical panorama. By adjusting each of the virtual camera target points, the surveyed points and corresponding background panoramas all views were accurately lined up. The process was double checked for all cameras.

WIFREFRAME AND PHOTMONTAGE CREATION

For the wireframe images the model was given a material that renders out showing the scene as a wireframe. The 90° versions were thus rendered out.

For the photomontage images the scene needs to be accurately lit and textured. The 3D software has the ability to place a light representing the sun at the correct orientation and time (as recorded in the digital photograph) to the accurately placed model. This was setup for each camera location.

The architect supplied details and examples of the materials that will be used for the project. Digital materials and textures were then added to the 3D model to best match the specified finishes. 2D renderings of each location were then generated by the 3D software ready to import into Photoshop and superimpose on the base photographs.

For each photomontage view post-production work was carefully carried out to edit, adjust and blend the two images together. Any objects or parts of the photograph that will be in front/behind the proposed development were edited to show this scenario. There are different ways to achieve this but, suffice to say, the same end result is an image that shows the proposal correctly in place. The architect was consulted with regards material finishes. Any subtle amendments such as hue, saturation etc were made to finalise the image.

As the 53.5° wireframe and photomontage views are recommended to be assessed in planar projection, the 90° cylindrical renders of each view were opened in Hugin and re-projected from cylindrical to planar. They were then cropped to 53.5° and saved out to form those images.

3) KEY WINTER VIEWS
VERIFIED VIEW 2



VERIFIED VIEW 2 - PROPOSED

AS IN THE EXISTING VIEW, THE PUMP HOUSE IS VISIBLE BUT WITH THE PROPOSED EXTENSIONS TO IT BOTH OF WHICH ARE SUBSERVIENT TO THE CENTRAL ORIGINAL MASS OF THE BUILDING. THE ROOFLINE OF THE DISTANT PROPOSED HOUSES IS BELOW THE HORIZON FROM THIS VIEW APART FROM ONE VERY SMALL SECTION (BEHIND THE BLUE CAR). THE DEVELOPMENT PROFILE (VISIBLE AND INVISIBLE) IS SHOWN WITH A RED LINE. THE SHORT SECTION OF JUST VISIBLE ROOF LINE IS MARKED WITH A GREEN LINE.



VERIFIED VIEW 2 - EXISTING

FROM SKIPTON OLD ROAD LOOKING NORTH NORTH EAST INTO THE SITE AT THE START OF THE UNMADE FOOTPATH WHICH CROSSES THE SITE



THIS
VERIFIED
VIEW

Rev	Date	Details	Drawn	Checked
1	14.09.22	PLANNING		
Project Name				
LAND TO EAST OF WINDERMERE AVE COLNE, PENDLE ACCRUE CAPITAL			Project No	2029
			Drawn By	4002
			Scale	NTS
			Orientation	North
Drawing				
KEY VERIFIED WINTER VIEW 2			Project No	2029
			Drawn By	CPL 14.09.22
			Checked By	CPL 14.09.22

CPL ARCHITECTURE
CHRIS LITTLEMORE BA(Hons) BA(Arch) MSc RIBA
CHARTERED ARCHITECT

3) KEY WINTER VIEWS

VERIFIED VIEW 5



THE PROPOSED VIEW FROM THIS LOCATION SHOWS THE REFURBISHED AND EXTENDED PUMP HOUSE IN ITS PROPOSED USE AS A COMMUNITY CAFE. NEW TREE PLANTING SOFTENS THE IMPACT OF THE MCDERMOTT DEVELOPMENT. THERE IS A SOFT FINISHED PATH (HOGGIN) CONNECTING THE TWO MAIN PEDESTRIAN ROUTES WHICH CROSS THE SITE AS DESCRIBED ABOVE. THIS PATH LINKS TO THE NEW COMMUNITY CAFE AND ALSO PROVIDES THE POTENTIAL FOR A PEDESTRIAN LINK INTO THE MCDERMOTT HOMES DEVELOPMENT WHERE NONE EXISTS AT PRESENT.



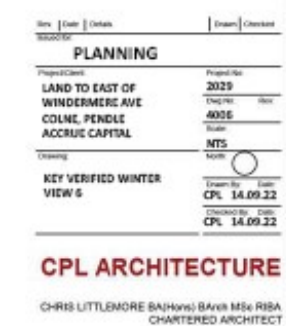
TAKEN FROM CENTRE OF OPEN GRASS AT LOWER END OF SITE IN A LOCATION WHERE THERE IS A POTENTIAL DESIRE LINE FOR PEDESTRIANS TO CROSS BETWEEN THE TWO UNMADE FOOTPATHS RUNNING NORTH-SOUTH AND NORTH-WEST TO SOUTH-EAST. THE DERELICT PUMP HOUSE IS VISIBLE AS ARE THE NEW DWELLINGS BUILT IN THE CONSERVATION AREA ON THE LAND IMMEDIATELY TO THE WEST OF THE PROPOSED DEVELOPMENT SITE BY MCDERMOTT HOMES

3) KEY WINTER VIEWS

VERIFIED VIEW 6



THE PROPOSED VIEW FROM THIS LOCATION SHOWS THE NEW SOFT FINISHED FOOTPATH (HOGGIN) TO PROVIDE A BETTER LINE OF CONNECTIVITY BETWEEN SKIPTON OLD ROAD AND CASTLE ROAD TO THE NORTH. SOME ADDITIONAL ENHANCED TREE PLANTING IS ALSO SHOWN.THERE IS NO OTHER CHANGE FROM THIS VIEWPOINT.



TAKEN FROM THE POINT ON THE EXISTING UNMADE FOOTPATH CROSSING THE SITE FROM NORTH-WEST TO SOUTH EAST, WHERE THE LAND STARTS TO DROP TOWARDS THE HOUSES BUILT ON THE NORTH SIDE OF SKIPTON OLD ROAD IN THE SOUTH-EAST CORNER OF THE SITE.

3) KEY WINTER VIEWS VERIFIED VIEW 8



Viewpoint 8	Viewpoint Type	4	Location/Map, Model & Construction	Notes: 100m x 100m x 100m	Coordinates (Longitude/Easting)	500 000 000 000 000 000	Page size (Image size 1000)	1000 x 1000 x 1000
	Project Name	4	Notes & Description of View	Notes: 100m x 100m x 100m	Height Above Sea Level (ASL)	100 000 000 000 000 000	Height Above Sea Level (ASL)	100 000 000 000 000 000
	Image/Map Factor	1000 x 1000	Resolution of View (DPI)	1000 x 1000	Resolution of View (DPI)	1000 x 1000	Resolution of View (DPI)	1000 x 1000
	View Time (UTC+00:00)	1000 x 1000	Resolution of View (DPI)	1000 x 1000	Resolution of View (DPI)	1000 x 1000	Resolution of View (DPI)	1000 x 1000

VERIFIED VIEW 8 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS THE END OF THE SHARED SURFACE PRIVATE DRIVE SERVING PLOT NO 147 AND THE END GABLE OF PLOT 146, WHERE THE DRIVE NARROWS TO CONTINUE AS A FOOTPATH RUNNING TOWARDS SKIPTON OLD ROAD ON THE LINE OF THE EXISTING UNMADE PATH. NO MATERIAL CHANGE EXISTS OTHER THAN THE INTRODUCTION OF A SUDS DRAINAGE DITCH IN THE FOREGROUND AND THE PRESENCE OF SOME TREE PLANTING TO THE SOUTH-EAST CORNER OF THE SITE AND PLANTING TO ENHANCE THE LINE OF TREES ON THE SOUTHERN BOUNDARY.



Baseline photograph	Extent of central 50m x 100m used to construct panorama	Extent of 50m x 100m used to construct panorama	This image provides landscape and visual context only
---------------------	---	---	---

Viewpoint 8	Viewpoint Type	4	Location/Map, Model & Construction	Notes: 100m x 100m x 100m	Coordinates (Longitude/Easting)	500 000 000 000 000 000	Page size (Image size 1000)	1000 x 1000 x 1000
	Project Name	4	Notes & Description of View	Notes: 100m x 100m x 100m	Height Above Sea Level (ASL)	100 000 000 000 000 000	Height Above Sea Level (ASL)	100 000 000 000 000 000
	Image/Map Factor	1000 x 1000	Resolution of View (DPI)	1000 x 1000	Resolution of View (DPI)	1000 x 1000	Resolution of View (DPI)	1000 x 1000
	View Time (UTC+00:00)	1000 x 1000	Resolution of View (DPI)	1000 x 1000	Resolution of View (DPI)	1000 x 1000	Resolution of View (DPI)	1000 x 1000

VERIFIED VIEW 8 - EXISTING

TAKEN FROM THE HIGHEST POINT ON THE EXISTING UNMADE FOOTPATH RUNNING FROM NORTH-WEST TO SOUTH-EAST ACROSS THE SITE. THIS VIEW AFFORDS A VIEW ACROSS THE CONSERVATION AREA LOOKING SOUTH-EAST.

Rev	Date	Details	Drawn	Checked
1	14.09.22	PLANNING		
2	14.09.22	LAND TO EAST OF WINDERMERE AVE		
3	14.09.22	COLNE PENDLE ACCRUE CAPITAL		
4	14.09.22	KEY VERIFIED WINTER VIEW 8		

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www.meadowhouse.co.uk

3) KEY WINTER VIEWS
VERIFIED VIEW 9



Viewpoint 9	4	Camera Make, Model & sensor format	Micasa, B0211 Full Frame Sensor	Coordinates (starting/heading)	55.9537, 2.0211 (48.9517, 148.9)	Page size / image size (mm)	841 x 1215 (841 x 1215)
Projection	Plan	Make & focal length of lens	Micasa, 28mm	Height above observer (m)	200.00	Principal distance (mm)	43.3
Exposure/ISO	1/250, f/8	Horizontal/vertical field of view (deg)	82.7	Distance to nearest obstacle (m)	1.0	Aperture (mm)	4.0
Date/Time of Photograph	14/02/2022 11:55	Direction of view from North (deg)	181	Height of camera	1.54	Registration type (mm)	RMS

VERIFIED VIEW 9 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS THE EXTENDED REFURBISHED PUMP HOUSE WHICH BECOMES A COMMUNITY CAFE AS PART OF THE PROPOSALS.THERE IS A PROPOSED PRIVATE SHARED SURFACE ACCESS TO THE CAFE FOR ACCESSIBLE PARKING AND THE OCCASIONAL DELIVERY. THIS ROUTE ALSO ACTS AS THE CONTINUATION OF THE PUBLIC RIGHT OF WAY FOOTPATH RUNNING FROM CASTLE ROAD IN THE NORTH DOWN TO SKIPTON OLD ROAD. THIS ROUTE CAN ALSO ACT AS A CYCLE ROUTE TO LINK CASTLE ROAD WITH SKIPTON OLD ROAD.



Viewpoint 9	4	Camera Make, Model & sensor format	Micasa, B0211 Full Frame Sensor	Coordinates (starting/heading)	55.9537, 2.0211 (48.9517, 148.9)	Page size / image size (mm)	841 x 1215 (841 x 1215)
Projection	Plan	Make & focal length of lens	Micasa, 28mm	Height above observer (m)	200.00	Principal distance (mm)	43.3
Exposure/ISO	1/250, f/8	Horizontal/vertical field of view (deg)	82.7	Distance to nearest obstacle (m)	1.0	Aperture (mm)	4.0
Date/Time of Photograph	14/02/2022 11:55	Direction of view from North (deg)	181	Height of camera	1.54	Registration type (mm)	RMS

VERIFIED VIEW 9 - EXISTING

TAKEN FROM THE POINT ON THE EXISTING UNMADE FOOTPATH RUNNING FROM NORTH TO SOUTH ACROSS THE SITE WHERE THE VIEW OVER THE CONSERVATION AREA APPEARS FROM BEHIND THE NEW HOUSING DEVELOPMENT BY MCDERMOTT HOMES. THIS IS WHERE THE PATH ROUTE CROSSES THROUGH A DITCH LINE AND HEADS DIRECTLY DOWN TO SKIPTON OLD ROAD. THE EXISTING DERELICT PUMP HOUSE IS CLEARLY SEEN.

Site / Date / Details / Exam / Checked

PROJECT: PLANNING

Project Client: LAND TO EAST OF WINDERMERE AVE COLINE, PENDLE ACCRUE CAPITAL

Project Ref: 2029

Eng No: 4009

Scale: NTS

Drawing: KEY VERIFIED WINTER VIEW 9

Drawn By: CPL 14.09.22

Checked By: CPL 14.09.22

CPL ARCHITECTURE

CHRIS LITTLEMORE BA(Hons) BA(Hon) MSc RIBA CHARTERED ARCHITECT

3) KEY WINTER VIEWS VERIFIED VIEW 10



VERIFIED VIEW 10 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS DISTANT ROOFSCAPE AND PROFILE OF THE PROPOSED DEVELOPMENT ALONGSIDE ADDITIONAL TREES TO BE PLANTED AS PART OF THE PROPOSALS. THE ROOFSCAPE FOLLOWS THE LINE OF THE DISTANT HORIZON WITH THE IMPACT BEING MINIMAL. IT IS ACCEPTED THAT THERE IS CHANGE ARISING BUT NO MORE THAN THAT DEMONSTRATED BY THE IMPACT OF THE MCDERMOTT DEVELOPMENT ALLOWED AT APPEAL IN 2016, TO THE SOUTH WEST OF THE SITE ADJACENT TO AND WITHIN THE LIDGETT AND BENTS CONSERVATION AREA.



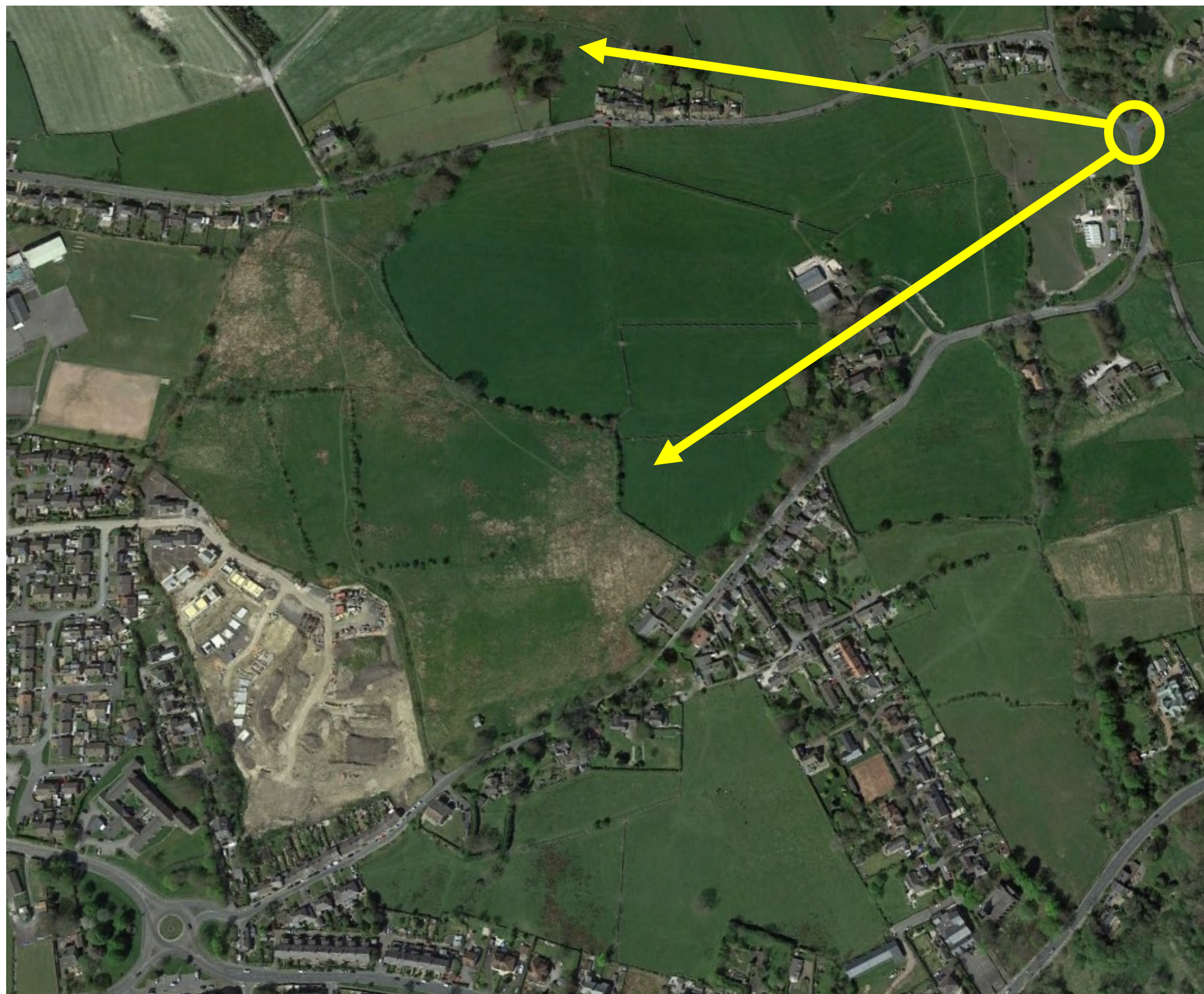
VERIFIED VIEW 10 - EXISTING

TAKEN FROM A DISTANT FOOTPATH TO THE SOUTH EAST OF THE SITE ON THE SOUTH SIDE OF SKIPTON OLD ROAD AND WITHIN THE CONSERVATION AREA. THIS UNMADE FOOTPATH RUNS EAST TO WEST AND THERE IS A GLIMPSE VIEW OF THE UPPER PARTS OF THE PROPOSED DEVELOPMENT SITE. THIS VIEW IS FRAMED BY THE EXISTING DWELLINGS AND TREES ON THE SOUTH SIDE OF SKIPTON OLD ROAD.



3) KEY WINTER VIEWS

EDP VIEW 4 FROM LANDSCAPE VISUAL ASSESSMENT



This view of the site from long distance at the junction of Skipton Old Road with the linkage into the extension of Castle Road is c670m from the eastern boundary of the site.

It is highlighted in the LVIA by EDP.

The panoramic photos of existing and proposed opposite show that there is a small visual change brought about by the proposals.

Three to four dwellings are just visible through the existing trees in the north east corner of the site. Also there is a tiny glimpse view of two ridgelines and two chimneys in proposed development to the southern end of the proposed development just breaking the skyline from this point.

Considering the overall setting however, which is essentially of grassland, stone walls, small clumps and isolated trees and small groups of stone or stone coloured low rise buildings, there is no adverse or harmful impact arising from the proposals.

The new forms are far from breaking the distant moorland horizon of Pendle Hill and its surrounding hills. The overall setting looks and feels exactly as it does at present.

3) KEY WINTER VIEWS

EDP VIEW 4 FROM LANDSCAPE VISUAL ASSESSMENT

Existing Panoramic Photograph



Proposed Panoramic Photomontage
Verified View



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Registered No:- 10039649



OUTLINE PLANNING PERMISSION FOR UP TO 150 NEW HOMES; REFURBISHMENT AND EXTENSION OF AN EXISTING PUMP HOUSE BUILDING AND ITS CHANGE OF USE TO A CLASS E OR CLASS F COMMUNITY USE; FORMATION OF A NEW MEANS OF ACCESS ONTO WINDERMERE AVENUE; ALTERATIONS TO AN EXISTING MEANS OF ACCESS ONTO CASTLE ROAD; AND OTHER ASSOCIATED WORKS

DESIGN CODE FORMING PART OF AN OUTLINE PLANNING APPLICATION TO PENDLE BOROUGH COUNCIL



DESIGN CODE

CPL ARCHITECTURE

Chris Littlemore BA (Hons) BArch MSc RIBA
CHARTERED ARCHITECT

13.04:2023

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ASSESSMENT

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LEXINGTON COMMUNICATIONS
COMMUNICATIONS CONSULTANTS

WARDELL ARMSTRONG
FLOOD RISK AND DRAINAGE STRATEGY

HOARE LEA
NOISE IMPACT ASSESSMENT

REDMORE
AIR QUALITY ASSESSMENT

BROWNFIELD SOLUTIONS
LAND CONTAMINATION ASSESSMENT (PH1)

LANCASHIRE POLICE
CRIME IMPACT STATEMENT

INTRODUCTION

The property, which is the subject of the Outline Planning Application of which this Design Code forms part, is situated on land to the east of Windermere Avenue on the east side of the town of Colne in the district of Pendle Borough Council. This Design Code is to be read in conjunction with all other illustrative design drawings and Design and Access Statement by CPLArchitecture and all other reports, statements and design information by the consultants listed in the panel to the left of this page.

APPLICANT

ACCRUE CAPITAL LTD

SITE ADDRESS

LAND OFF WINDERMERE AVENUE, COLNE, LANCASHIRE, BB8 7DW

PURPOSE OF THIS DESIGN CODE

This Design Code sets out the criteria upon which the illustrative proposals for the Outline Application have been based. It also forms a framework of rules and guidance upon which any future application for either reserved matters or a detailed planning application on this site for the same uses should be based.

The code explains the rationale behind the formulation of these rules and sets these out using the illustrative proposals from the outline application and relevant supporting information. This covers the amount of development, the use, the layout, the scale, form, identity, character, design details, house and building types, materiality and landscaping and appearance of the proposals and the access to them.

The code draws upon the influence of the context of the site, the specialist reports itemised in the panel to the left and studies of recent and historic developments in the immediate locality. The illustrative proposals also follow local authority adopted design guidance and guidance within the National Planning Policy Framework and the National Development Space Standards for Housing.

Guidance within the documents 'Manual for Streets' and 'Building for a Healthy Life' is also heeded. (This was previously known as 'Building for Life 12' and is as approved by The Design Council, CABI, Design for Homes and the Homebuilder's Federation. Full information is found at www.builtforlifehomes.org.)

All of the above are relevant guides and important design tools and are to be used in any future application. (For 'Building for a Healthy Life' See pages 20 & 21 of this Design Code).

In addition to the above, the design has been informed by an extensive and documented public consultation exercise carried out in July 2022 which followed a Pre-Application process with Pendle Borough Council between the autumn of 2021 and Spring of 2022. At each stage of these processes, the design proposals were adjusted inline with feedback from each. This Design Code is a result of that process.

THE OUTLINE APPLICATION DESCRIPTION UPON FOR WHICH THIS DESIGN CODE IS FORMULATED

OUTLINE PLANNING PERMISSION FOR UP TO 150 NEW HOMES; REFURBISHMENT AND EXTENSION OF AN EXISTING PUMP HOUSE BUILDING AND ITS CHANGE OF USE TO A CLASS E OR CLASS F COMMUNITY USE; FORMATION OF A NEW MEANS OF ACCESS ONTO WINDERMERE AVENUE; ALTERATIONS TO AN EXISTING MEANS OF ACCESS ONTO CASTLE ROAD; AND OTHER ASSOCIATED WORKS.

USING THE CODE

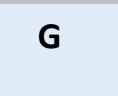
This Design Code sets out the minimum standards which future development proposals must achieve, focussing on environmental obligations and targets, design quality, functionality and harmonious design. Importantly, it is not intended to restrict future creativity. The term ‘Design Code’ or ‘Code’ are used interchangeably and always refer to this document.

The majority of the guidance in this Code is mandatory. Such guidance is expressed in a number of ways to assist future users.

- Sentences containing the words ‘will’, ‘shall’, ‘to be’ and ‘must’ define mandatory guidance. Words such as ‘should’, ‘could’, ‘may’ and ‘can’ provide discretionary guidance where alternative design approaches can be considered.
- Drawings which are mandatory are contained within a purple box. Mandatory Text is in **Purple**. Where plans or tables are illustrative, a caption at the bottom of the figure may highlight a mandatory element. This text is always purple. So whilst that layout might not be mandatory, an underlying design principle(s) may be, and must be adhered to.



- Drawings or other illustrations which denote ‘Guidance’ are indicated by a symbol



- There are a number of abbreviations utilised within the Code.
LCC - Lancashire County Council
PBC - Pendle Borough Council
IP - Illustrative Masterplan
DAS - Design and Access Statement
RMA - Reserved Matters Application
SuDS - Sustainable Urban Drainage Scheme
MfS - Manual for Streets
LCSG - Lancashire Civilised Streets Guide
BFHL - Building for a Healthy Life
NDSS - Nationally Described Space Standards
- The outline proposals have given considerable attention to the previous applications and appeals on the site and the reasons for refusal and dismissal of the previous Appeal ‘B’ from 2016. Significant changes have been made in the illustrative proposals.
- This Design Code shall form a key document upon which to base any future RMA proposals. It is anticipated that a planning approval to the Outline Application containing illustrative designs can contain a condition obliging any future RMA proposal to comply with this Design Code.

MADDOX PLANNING
PLANNING MATTERS

CPL ARCHITECTURE
ARCHITECTURE

VECTOS
TRANSPORT ASSESSMENT AND TRAVEL PLAN

ENVIRONMENTAL DESIGN PARTNERSHIP
LANDSCAPE STRATEGY AND VISUAL IMPACT
ASSESSMENT

LANPRO SERVICES
HERITAGE STATEMENT AND IMPACT
ASSESSMENT

THE ENVIRONMENT PARTNERSHIP
BIODIVERSITY SURVEY AND REPORT
ARBORICULTURAL SURVEY AND REPORT

LEXINGTON COMMUNICATIONS
COMMUNICATIONS CONSULTANTS

WARDELL ARMSTRONG
FLOOD RISK AND DRAINAGE STRATEGY

HOARE LEA
NOISE IMPACT ASSESSMENT

REDMORE
AIR QUALITY ASSESSMENT

BROWNFIELD SOLUTIONS
LAND CONTAMINATION ASSESSMENT (PH1)

LANCASHIRE POLICE
CRIME IMPACT STATEMENT

- This Design Code has been prepared to help deliver a cohesive, sustainable and high quality new residential development. provides mandatory and strong guidance parameters to the architectural and masterplanning aspects of any future RMA proposal for this site.
- In addition to this Code, it is essential that the mandatory requirements and guidance contained within each of the supporting technical reports of any Outline Approval are also embodied within any future RMA.
- The firms listed alongside this panel together with their topic of expertise provide the necessary supporting technical advice.
- In addition to the above, it is important that any future RMA takes on board and reads in conjunction with this Code, any additional guidance aspects contained within the DAS by CPL Architecture.
- This site wide Design Code is just one element of the design process that will delivery a quality development on this site. The Code sets a design and environmental benchmark below which future proposals must not drop and will not be approved. Reserved Matters Applications (RMA) must meet this minimum standard, but are also expected to further develop and enhance the design approach contained within the Code.
- Developers, house-builders, Pendle Borough Council and Lancashire County Council will be required to ensure high calibre architects are appointed to work up detail designs. The architectural firm to be appointed shall be agreed with the lead developers and local authority in conjunction, prior to work commencing. Design competitions or similar are encouraged.
- Any departure from the Code must be explained and justified and will not be approved by the lead developer / local authority unless it can be demonstrated that it exceeds the design or environmental standards set in the Code.
- As part of any RMA, a detailed statement of Code compliance must be submitted. The statement must be cross referenced to the specific requirements of the code and any departures must be identified and justified.
- This Code is intended to guide developers, housebuilders and the local authority officers through the duration of the project. Most design mandatory standards guidance will remain relevant throughout this period but some may require review in the context of subsequent proposals, changing national or local plan policies or amended building regulations. It may also need updating to address a particular issue that has become apparent as the design process evolves. As such, it is anticipated that this Code may need reviewing after the first 50 dwellings are constructed or after 24 months from the date of Outline Planning Approval, whichever is the sooner.
- The Deign Code would at that point be reviewed jointly by the Lead Developer and Local Authority.

HIGH LEVEL SUMMARY - 1

APPLICATION SITE AND ITS SURROUNDINGS

Mandatory requirements for any future RMA and designs contained within, are set out within this Code. The key attributes of the site and design drivers generated by its context and local vernacular language of scale, form, materiality and detail are clearly expressed. These stipulate how any future developer should take detailed designs forwards within any RMA for this site. This Code covers the selection of consultants to be employed, full design methodology and limitations, detail and review. Requirements are set for the judging of any future RMA proposal by means of verified views of before and after photography and photo montage.

LOCAL CONTEXT

Local built form is examined and important features of scale, form, detail, window to wall ratios and positioning, chimneys, gutters and external enclosure are identified. Mandatory requirements are set for the architectural language of any future RMA proposal.

ACCOMMODATION

Mandatory requirements for density, areas of developed and undeveloped land and mix of house types (2Bed, 3Bed,4Bed etc) within a development of up to 150 dwellings are given. A mix of Terraced, Semi-Detached and Detached homes is provided. Requirements are given for all dwellings to meet the NDSS accommodation standards as a minimum. Minimum widths of driveways and pathways in each plot are given. Recommendations are given for the potential of a limited extent of 2.5/3 storey built form in amongst the remaining two storey form. Recommendations are given for back of pavement to dwelling frontage are given depending upon the character area type within the site. Recommendations are given for the potential provision of affordable housing. Guidance is provided on architectural appearance which meets the mandatory requirements set above.

LAYOUT AND IDENTITY

Means of access to the site are matters not reserved for future approval and form part of the Outline Application. As such, the means of access to the site for vehicular traffic are prescribed in any future RMA alongside any agreed off site works and/or actions agreed between the Outline Application applicant and PBC forming part of any Outline Approval. Vehicular and pedestrian routes are identified within the Code. Vehicular routes are to be of Primary, Secondary and Tertiary Status depicted by their width, arrangement and detailing. Pedestrian routes are also identified to cross the site in North—South and East West Directions. Guidance is given to make it possible for additional connections to be formed for pedestrian linkages to be made to neighbouring land for mutual and community benefit. Mandatory ‘Places of identity’ within the layout are located and parameters for their form are described. Locations for strategic landscape areas are given. Zones of higher, medium and lower housing density are prescribed. Landscape features (SUDs / Ponds / LEAP) are identified. Natural surveillance provision is required and described. Character Areas of ‘Squares’, ‘Organic Streets’ and ‘Open Edge of Development’ are prescribed. Provision for Public Service Vehicles is mandatorily described as are the provision for a North / South Cycle route. Guidance is given to make future provision for a possible Bus Route through the development.

BUILDINGS - DWELLINGS

Space standards are prescribed as are built form, scale, detail and materiality for each house type.
Thermal performance and other sustainability criteria are prescribed for each house.
Variety of house types is prescribed.
Elevational appearance with regard to window to wall ratios, walling materials, aperture surrounds, roofs, porches, chimneys and gutter details are prescribed.
Plot boundary definition and distances from back of road to dwelling in a variety of situations is prescribed. Walling and fencing materials are prescribed.

BUILDINGS - PUMP HOUSE

The future of the existing Pump House is protected and prescribed to be brought back into use as a Community Facility with ancillary use as a café and or art centre.
Repairs, size of extension and materials are prescribed.
Guidance is given for plan form and elevational appearance.

BUILDING FOR A HEALTHY LIFE

It is a mandatory requirement that any future RMA shall follow the 12 criteria set out in the government’s guidance document, ‘Building for a Healthy Life’

SOFT LANDSCAPE

A protected area of recreational space is defined within the Code. This extends to 2.328 Ha of land in the southern and eastern zone of the site closest to the Lidgett and Betts Conservation Area.
Additional soft landscape buffer zones to the eastern and south western boundaries are defined.
The requirement for an approved SUDs drainage scheme is mandatory within any future RMA to ensure that there is no additional drainage or flooding impact within the site or elsewhere as a result of the proposals.
SUDs features shall make use of existing ditch and hedge lines and shall introduce ponds and other such features which shall enhance biodiversity on the site.
Additional tree planting and other soft landscape shall follow the guidance provided by the EDP Strategic Landscape Plan in the Outline Application and shall form part of any future RMA.

HARD LANDSCAPE

All roads and paths shall be compliant with and follow the guidance within the documents Manual for Streets and Lancashire Civilised Streets Guidance. These shall include but not be limited to widths of varying distance to create organic flowing roadways and paths, edge and surface treatment, street furniture and parking definition.
This Code sets out mandatory forms of enclosure to private garden spaces in materials appropriate to the vernacular design language of the area.
A LEAP shall be included within any future RMA to be compliant with appropriate separation distances from any nearby dwellings and shall be set into the sloping ground.

SUSTAINABILITY

This Code sets out mandatory performance levels for the fabric of dwellings and sitewide criteria for the provision of sustainable forms of travel (eg Electric Vehicle charging, cycles, Public Transport provision)

KEY VERIFIED VIEWS

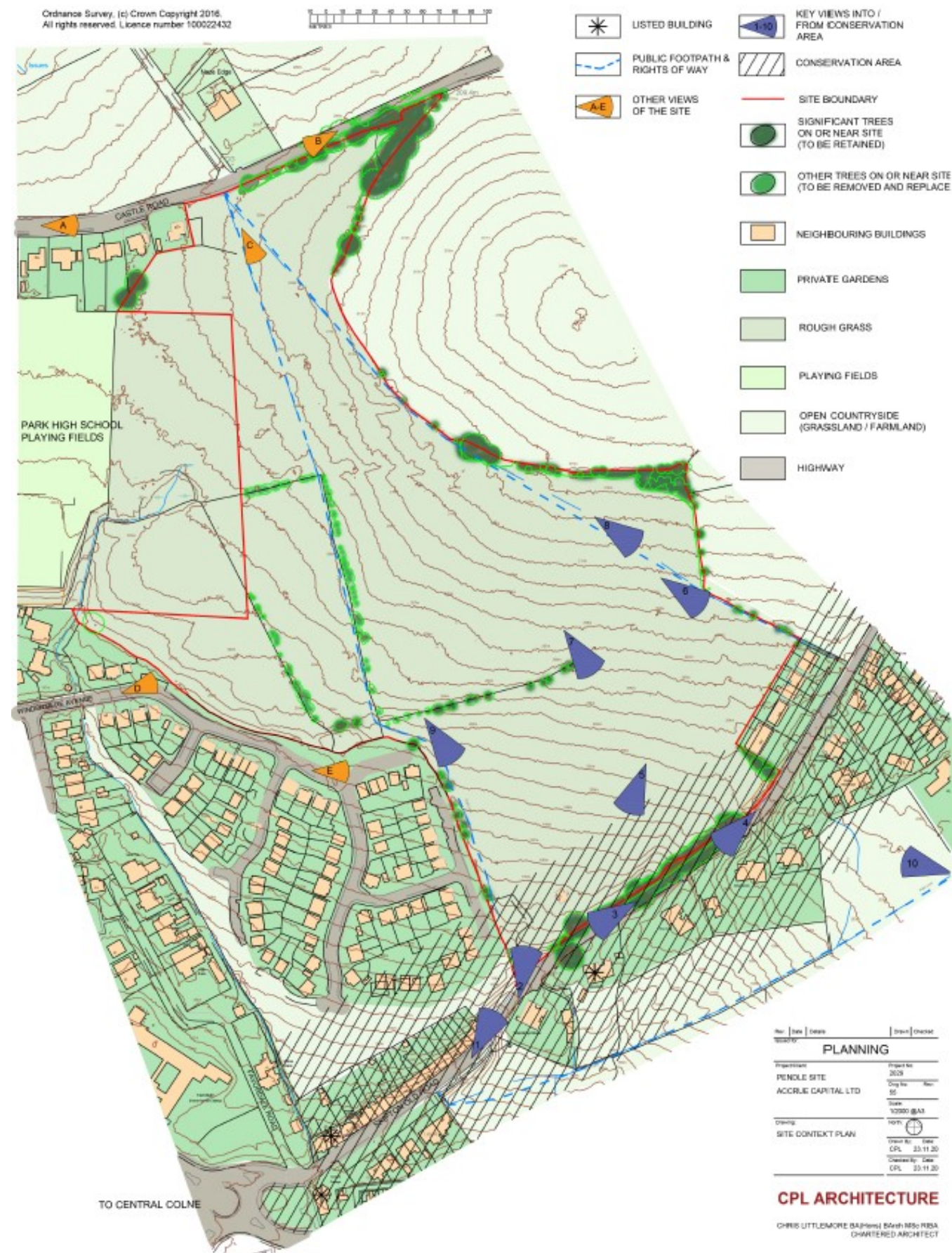
This Code identifies ten key Verified Views from where any future RMA shall be judged to ensure there is no greater visual impact on the Lidgett and Betts Conservation Area than proven in the Outline Application. These key views are to be judged in both winter and summer and are to be provided fully in accordance with rules set by The Landscape Institute for the provision of the same.

INDICATIVE VIEWS

A series of illustrative views are provided in this Code which give Guidance on the flavour of designs and layout which is to be expected.

2) APPLICATION SITE AND ITS SURROUNDINGS

(a) Contextual Analysis - Site and Locality



The site lies between Castle Road to the north and Skipton Old Road to the south. It is bordered on the west by housing from the mid C20 at the north west corner, the grounds and grass land belonging to Park High School and the very recent development by McDermott Homes to the south west and by the deep cut lane of Skipton Old Road to the south.

To the east lies grassland and farmland. Two unmade footpaths cross the site from the existing access onto Castle Road leading more or less due south to Skipton Old Road and south east along the north east boundary of the site.

The site is presently open rough grassland with a few isolated ditch and old wall lines with occasional low hawthorn bushes. There are boundary trees and some enhancement planting to the north east boundary. There is a stone wall running most of the length of the north eastern boundary.

The land slopes gradually from north east to south west on the upper parts of the site and then more steeply towards Skipton Old Road.

The Lidgett and Bents Conservation Area touches the southern parts of the site and is denoted on this plan with a diagonal black hatch. Within this conservation area are a number of listed buildings. The three in closest proximity to the site are denoted by a black star.

The buildings in the vicinity of the site demonstrate a wide variety of styles and ages. Of particular note are the terraced cottages to the southern end of Skipton Old Road which display a strong and pleasant local vernacular language of form, details and materials. These are covered more fully in Section 3 of this statement.

A full heritage analysis of the site and its environs is provided in a separate report by Lanpro as part of this application.

A full Landscape Visual Impact Assessment is provided by EDP as part of this application.

Both of these reports have informed the process of design for these proposals.

A photographic record is shown, on the following page, of various viewpoints to and from the site. Their locations are shown on the key plan here. Those coloured orange are informative. Those coloured dark blue are what are considered to be key views from where any impact of the proposals upon the conservation area to the south should be judged. As a result, before and after verified views of the any future proposals must be included within future RMA documents.

2) THE APPLICATION SITE AND ITS SURROUNDINGS

(b) Site Photographs



VIEW 1



VIEW 2



VIEW 3



VIEW 4



VIEW 5



VIEW 6



VIEW 7



VIEW 8



VIEW 9



VIEW 10



VIEW A



VIEW B



VIEW C



VIEW D



VIEW E

3) THE LOCAL CONTEXT

(a) Grouping and form.



1



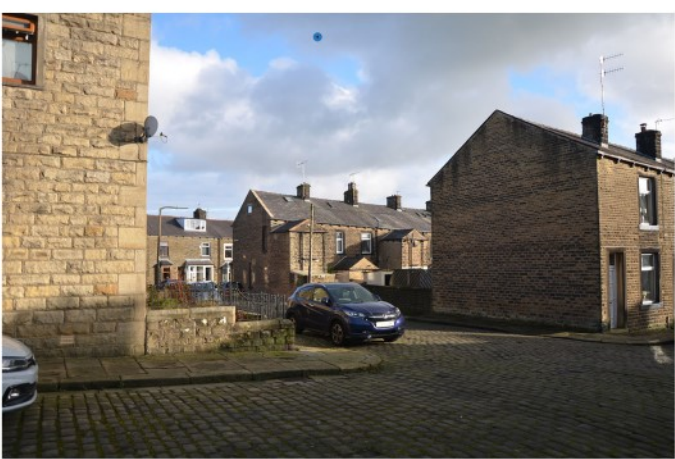
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6



7

PHOTOS KEY

- 1 - LIDGETT - VIEW UP OLD SKIPTON ROAD
- 2 - TYPICAL COTTAGES - OLD SKIPTON ROAD
- 3 - COMBINATION OF 2 & 3 STOREY DWELINGS OLD SKIPTON ROAD
- 4 - 3 STOREY DWELLINGS - OLD SKIPTON ROAD WITH HISTORIC WEAVERS WINDOWS AT GROUND FLOOR
- 5 - TYPICAL URBAN LAYOUT WITHIN CONSERVATION AREA
- 6 - LARGER DWELLING OLD SKIPTON ROAD
- 7 - COLLECTION OF DWELLINGS ON CASTLE ROAD TO NORTH EAST OF SITE 2 & 3 STOREYS

Rev.	Date	Details	Drawn	Checked
Issued for: PRE - PLANNING				
Project/Client:		Project No: 2029		
PENDLE		Dwg No:	Rev:	
SKIPTON OLD ROAD		30		
VULCAN PROPERTY II LTD		Scale:		NTS
Drawing:		North: 		
CHARACTER AREA		Drawn By: CPL 07.12.20		
PHOTOS		Checked By: CPL 07.12.20		
CPL ARCHITECTURE				
CHRIS LITTLEMORE BA(Hons) BArch MSc RIBA CHARTERED ARCHITECT				

These photographs show a selection of existing house form and assembly which display a very strong local identity.

These are generally a mixture of 2 and 3 storey dwellings under pitched roofs of c30 degrees. Stone chimneys are common.

Dwellings step up the gradient of often steeply sloping ground.

Smaller dwellings do not have porches.

Majority of dwellings do not have projecting bays or gables.

Many dwellings open directly onto the street or with a very narrow private defensible space. Chimneys and terraces are common place.

All RMA proposals shall take the references on pages 6 and 7 of this design code as strong influencers on design, form, scale and detail.

3) THE LOCAL CONTEXT

b) Elevations, Details and Materials

Window patterns are irregular between floors (a reflection of the historical local weaving industry).

Window and door surrounds are in natural or painted stone.

Eaves and gutters are supported by distinctive projecting stone gutter corbels sometimes with a continuous stone eaves lintol above.

Roofs are either natural slate or stone.

Walls are generally random height split and riven rubble gritstone brought to courses with occasional use of quoins on larger dwellings.

Garden walls are often in stone with Cock and Hen coping details.

Photos 5 and 6 show less successful modern interpretations of this vernacular language and are to be avoided. These dwellings have forms and window to wall ratios which could be in many places without such local identity.

Photo 7 is more in keeping with this strong identity.

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1



4



6



2



5



7



3

PHOTOS KEY

1 - ONE-PIECE STONE JAMBS, CILLS AND LINTOLS

2 - CORBELED STONE SUPPORTS TO SQUARE SECTION GUTTERS

3 - ROOF PITCH C 30 DEG. WINDOW FORMAT DIFFERS BETWEEN FLOORS (HERITAGE OF WEAVING)

4 - STONE GABLED PORCH + WINDOW VARIETY WINDOWS WITH STONE SURROUNDS SQUARED & TUMBLED RANDOM STONE WALLS BROUGHT TO COURSE

5 - PHASE 1 CONSTRUCTION REGULAR COURSING - NO GUTTER CORBEL - NO STONE SURROUND TO APERTURES

6 - PHASE 1 CONSTRUCTION REGULAR WINDOWS TO EACH FLOOR

7 - SUCCESSFUL RECENT DEVELOPMENT ON KEIGHLY ROAD

Rev.	Date	Details	Drawn	Checked
Issued for: PRE - PLANNING				
Project/Client:		Project No:	2029	
PENDLE		Dwg No:	31	Rev:
SKIPTON OLD ROAD		Scale:	NTS	
VULCAN PROPERTY II LTD		North:	CPL 07.12.20	
Drawing:		Checked By:	Date:	CPL 07.12.20
CHARACTER AREA PHOTOS				

CPL ARCHITECTURE

CHRIS LITTLEMORE BA(Hons) BArch MSc RIBA
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4) ACCOMMODATION

a) Density, mix, amount and use 1



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The proposal is for residential use for up to 150 dwellings and the change of use and alteration of the Pump House building to Class E or Class F Community use (36 sqm extended to 77.25 sqm and refurbished). The outline proposals were arrived at after consultation at pre-application and public consultation stages.

The PBC Core strategy design guidance (LIV5) provides information on the typical required mix and types of dwellings for residential development of this type and it also sets out requirements for desirable density on land which is built upon. The desired density within the PBC Core Strategy is 30 dwellings per hectare.

The illustrative proposals demonstrate that it is perfectly possible to accommodate up to 150 dwellings on the 5 Hectares of land identified on the northern end of this site within the illustrative layouts. This equates to a density of 30 dwellings per hectare. This density is in compliance with the PBC Core Strategy guidance and shall be used as a design criteria for any future application.

The site has a total area of 9.527Ha so the proposal has 4.527Ha of open space designated for landscape of varying types of green space, footpaths, SUDs features, play area (LEAP) and Community Use. This again shall be used as a design criteria for any future application.

The LA design guidance indicates the mix of dwellings of varying sizes in an ideal proposal as follows:-

1 and 2 Bed Units - 52.5% 3 Bed Units - 35% 4 Bed Units - 12.5%

However, the guidance also suggests that the highest need for housing falls in the small to medium sized family house bracket. Balancing the guidance with an analysis of preferred housing market need, the preferred mix is proposed as follows in this illustrative layout:-

2 Bed Units - 32% 3 Bed Units - 54.7% 4 Bed Units - 13.3%

This mix with a variance of +/- 3% (of 150 dwellings) for each dwelling type shall used as a guide for any RMA.

Table LIV4a - size threshold and area based affordable housing targets

	M65 Corridor	M65 Corridor North	West Craven Towns	Rural Pendle
5-9 dwellings	N/A	N/A	N/A	20%
10-14 dwellings	0%	0%	0%	20%
15 or more dwellings	0%	0%	5%	20%

Where the relevant target cannot be met a financial viability assessment should be provided to allow the Council to negotiate with the applicant and adjust the amount of affordable housing accordingly.

Policy LIV4a sets out criteria for the extent of affordable housing required within the PBC. Whilst this indicates a 0% requirement, all houses illustrated in the proposals are designed to NDSS standards acceptable to AH providers. There should be an affordable provision of up to 5% of the total number of 150 dwellings (ie 8 AH dwellings) leaving 142 for private sale. This proportion is consistent with the neighbouring McDermott development immediately to the south west.

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4) ACCOMMODATION
b) Density, mix, amount and use 2

In order to provide sufficient variety of house-form within a total of 150 dwellings, it is proposed that there should be at least 13 different house types provided. Any future proposal should have at least this variety of house-type. The following schedule demonstrates the numbers, sizes and types that are included within the illustrated layout. Of these there are 20 units which are 2.5 storeys. A summary of the schedule is below:-

LAND TO EAST OF WINDERMERE AVE COLNE	2029	27.04.2022	SHEET 6 OF 6										CPL ARCHITECTURE									
DEVELOPMENT SCHEDULE		RUNNING TOTAL																				
PLOT			2 BED UNITS				3 BED UNITS				4 BED UNITS											
2B4P - 81 APART OVER PARK		3	48	32.0%																		
2B4P - 80.6 SSE HOUSE		37																				
2B40 - 80.6 LSE HOUSE		4																				
2B4P - 93.4 CORNER HOUSE		4																				
3B6P - 106.1 SSE HOUSE (2.5ST)		16																				
3B5P - 93.6 SSE HOUSE		24																				
3B5P - 93.6 LSE HOUSE		20																				
3B5P - 103.7 SQFORM HOUSE		5																				
3B5P-98.4 LSE HOUSE		17																				
4B7P - 123.85 SSE HOUSE (2.5ST)		4																				
4B6P - 116 LSE HOUSE		13																				
4B7P - 141 HOUSE		2																				
4B8P - 151 HOUSE		1																				
TOTAL		150																				
NOTES																						
SSE - SHORT SIDE ENTRY																						
LSE - LONG SIDE ENTRY																						
(2.5ST) = 2.5 STOREY HOUSE																						

In addition to suggestions on housing mix, PBC policy indicates in LIV5a mix of types of dwelling, namely:-

Detached House - 25% Semi-Detached House - 35% Terraced / Flatted - 20%

This mix also includes a further 20% suggested for Bungalow accommodation but it is the applicants view that single storey accommodation of this nature is both inefficient in terms of land use and less appropriate in terms of design appearance in keeping with the local context in this location. The type mix proposed is:-

Detached House - 27% Semi-Detached House - 54% Terraced / Flatted - 19%

Any RMA proposal shall follow this mix +/- 3% for each dwelling type

Excepting the avoidance of any bungalow style development in the illustrated proposals, this mix accords very closely with that suggested in the PBC LIV5a policy.

All proposed dwellings, whether of 2 Bedroom, 3 Bedroom or 4 Bedroom types shall be compliant as a minimum standard with the National Described Space Standards (NDSS), in both general area and detail. The high level area requirements are set out here but the full detail of the NDSS shall be followed for any future application.

All dwellings shall be designed with parameters of either a 3m wide drive and / or 1.2m wide footways to one side or the other of the dwelling to ensure sufficient space is allowed for parking or pedestrian access alongside each dwelling. The illustrated layout demonstrates these space standards. Any RMA shall follow this design standard.

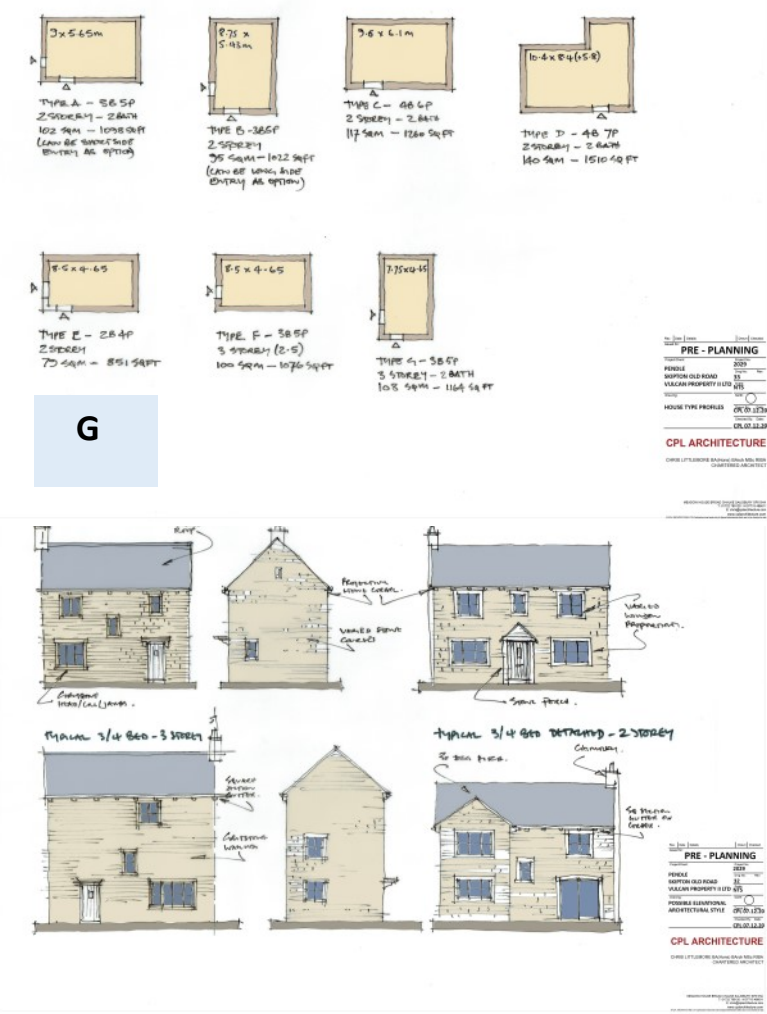
Table 1. Minimum gross internal floor areas and storage (m²)

Number of bedrooms (b)	Number of bed spaces (persons)	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) *			1.0
1b	2p	50	58		1.5
2b	3p	61	70		2.0
2b	4p	70	79		2.0
3b	4p	74	84	90	2.5
3b	5p	86	93	99	2.5
3b	6p	95	102	108	2.5
4b	5p	90	97	103	3.0
4b	6p	99	106	112	3.0
4b	7p	108	115	121	3.0
4b	8p	117	124	130	3.0
5b	6p	103	110	116	3.5
5b	7p	112	119	125	3.5

Taking the space standards above and the contextual study of existing house-form, the illustrative sketches here demonstrate typical plan outlines for two and 2.5/3storey homes (it can be seen on pages 6 and 7 of this design code that there are frequently two and three storey dwellings juxtaposed in the locality).

It is possible to create the same footprint for a two storey two bed home and extend this vertically to create a 2.5 storey or 3 storey dwelling. This should be explored in any future proposals and is illustrated within the house-types and layout forming part of this application.

The elevational sketches explore the typical external features which combine to give a real sense of identity particular to this locality. These are also taken from contextual studies shown on pages 6 and 7 and again should be explored and developed in any future proposals for the house-types proposed on this site.



5) LAYOUT AND IDENTITY

a) Means of Access



With regard to the principle points of access, detailed proposals have been formulated by Vectos on their drawings and report. It should be noted that ‘Access’ is not a reserved matter in this application and Vectos have prepared a full highways assessment and plan which is to be read in conjunction with this document.

The access locations are ‘A’, ‘B’ and ‘C’ are set as being the definitive points where access to the site is achieved. For the internal layout, the document M f S and LCSG provide essential guidance within the illustrative layout for access, vehicular routes, roads, combined surfaces, pedestrian routes and the general design of the facilities for vehicular and pedestrian movement within the project. Any RMA shall use these guidelines and documents to assist the design of roads, pathways and the like.

ACCESS FROM THE NORTH (POINT A ON PLAN)

An amended point of site access into the site is to be constructed from Castle Road to the north which will entail the amendment of the carriageway and footway together with off site works detailed within S106 and other agreements forming part of this proposal. This will be constructed by means of a new bell-mouth entrance in tarmac with pavements to both sides which will in turn after a short distance change to surfaces in keeping with the design ethos of the development and in accordance with LCSG. The requisite road and footway / service widths are to follow the LCSG and M f S guidance and otherwise as agreed with LCC as appropriate for the level of development within the proposal. This route shall be suitable for cycles.

ACCESS FROM THE WEST (POINT B ON PLAN)

A new access is to be formed from Windermere Avenue. The height difference between the existing road level and the site is to be absorbed by a new road running east west. The illustrative proposals show this route terminating in an open sided square (see Character Areas later in this Design Code). Detailed proposals by Vectos form part of this application for this new access road and pavement.

ACCESS FROM THE SOUTH AND EAST (POINTS C ON PLAN)

Existing points of pedestrian access shall be maintained and enhanced in each of these locations. The footpaths and right of way at each of these points shall be enhanced and formed from a hoggin surface providing access to the new pubic benefits within the development of the Pump House Community Building and Children’s LEAP. No vehicular access is proposed from Skipton Old Road. Each of the roads and other surfaces shall follow the LCSG and M f S documented guidance and be in materials appropriate to the design ethos of the overall development. This route shall be suitable for cycles.

OFF SITE HIGHWAYS WORKS

In addition to the above, there will be a number of off site highways works and agreements to support this proposal. A full list is submitted in the report by Vectos. Included (non exhaustive) in this bundle of measures will be:-
Speed Control on Castle Road
Pedestrian Crossing of Kinsley Road
Travel Plan for the Development
Bus Route Contribution Proposal
Cycle Plan Proposal

Any of these measures which form part of an Outline Approval will be required to be delivered in any future RMA.

b) Vehicular Routes - Primary / Secondary / Tertiary / Pedestrian Routes

In any residential layout, it is important to create tiered routes of differing status. By use of the road width, treatment of surfaces and edges, pavement definition, corners, radii and street furniture it is possible to actively control traffic speed. The key is to ensure that pedestrians are never threatened by vehicle speed and vehicles feel uncomfortable in areas of pedestrian priority. Any RMA layout shall achieve this by a minimum of three layers of road type which should be used as an indicative method of delivering these routes within the site. These are:-

PRIMARY - Main access routes into and through the site passing through key locations such as the two central squares. Some of this route has raised kerbs both sides where it meets the feeding highways, but the majority is with low run-over kerb definition. The road shall comply with minimum widths and radii to be approved by LCC and as set out in LCSG and M f S. Widths shall also vary depending upon the alignment of dwellings each side to create an organic feel. The plan on this page shows these routes defined in red.

It is also essential to ensure the route which links Windermere Avenue with Castle Road is not a 'straight' cut-through. From Castle Road, by directing its course through the central square with an 'off-set' of direction formed by the positioning of built form and then again through the more open square with a considerable change of direction, this route becomes a less favourable short-cut between the two existing roads. Along its route should also be located constrictions by bollards and surface treatment at the transition from road into square and out again. These features are shown on the illustrative layout 2029_2004.

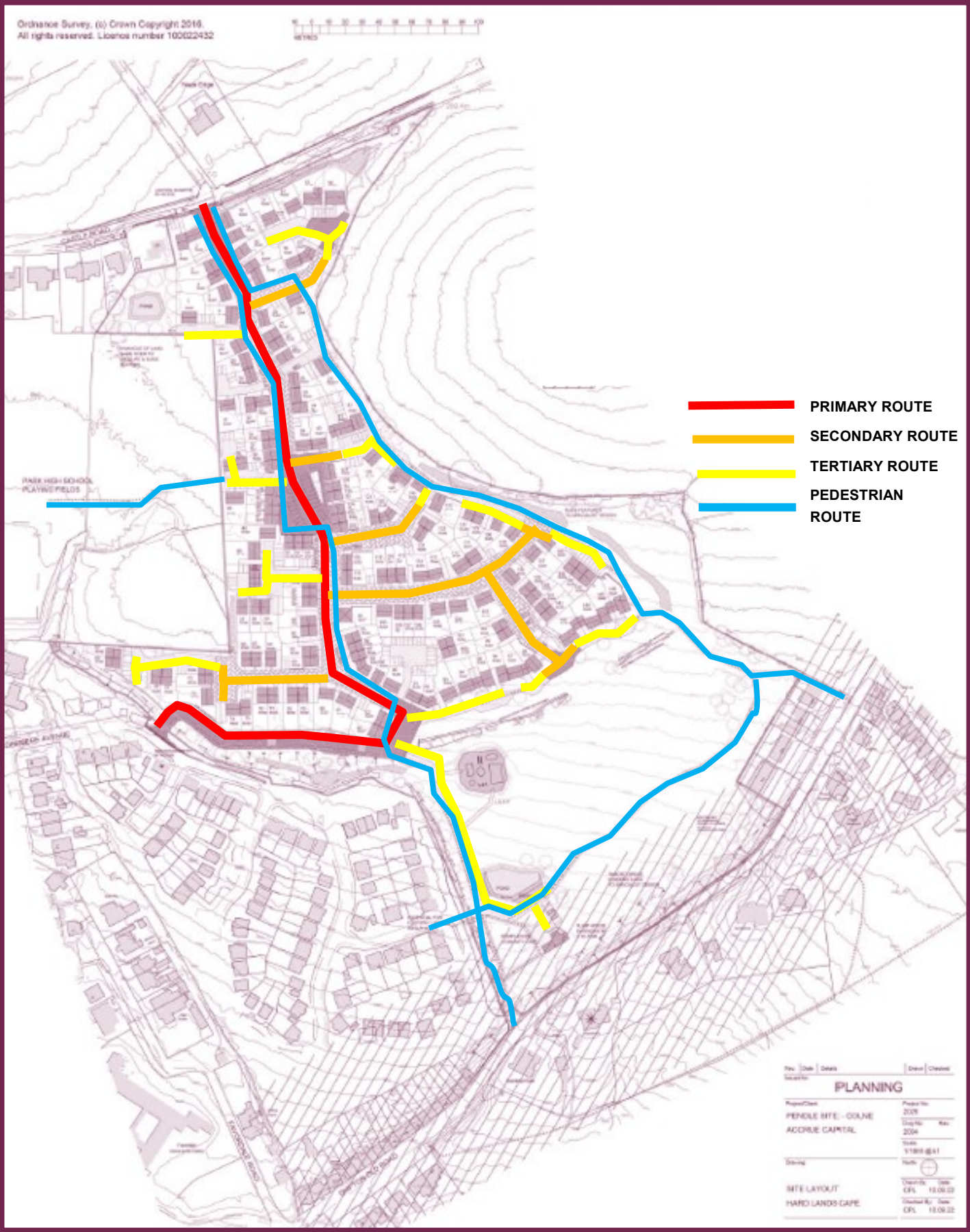
SECONDARY - Access routes at right angles to the primary route serving groups of dwellings. All shall again be LCC, LCSG and M f S compliant and have surface treatment with low rise defined pavements. They shall be varied in their widths to aid the organic nature of the spaces and feel of the routes. The plan on this page shows these in orange.

TERTIARY - Access routes to a maximum of 5 houses by means of a private drive. These shall be of minimum widths being low volume routes but again comply with LCC requirements and LCSG and M f S documentation. These are to be of organic flowing form in appropriate surface material. The plan on this page shows these in yellow. A tertiary route also extends to serve the old Pump House which is proposed to be a Community facility. Disabled parking and cycle parking shall be made available at this location together with turning facilities for service vehicles both public and private.

PEDESTRIAN ROUTES - Two informal footpaths cross the existing undeveloped site from Castle Road in the north to Skipton Old Road in the south and south east corners respectively. The general desire lines of these two routes are to be maintained in any RMA (albeit with some minor possible diversion from the existing alignment). Surface shall be upgraded to ensure these are compliant with both the developed and undeveloped parts of the site. These pedestrian routes are shown in blue here.

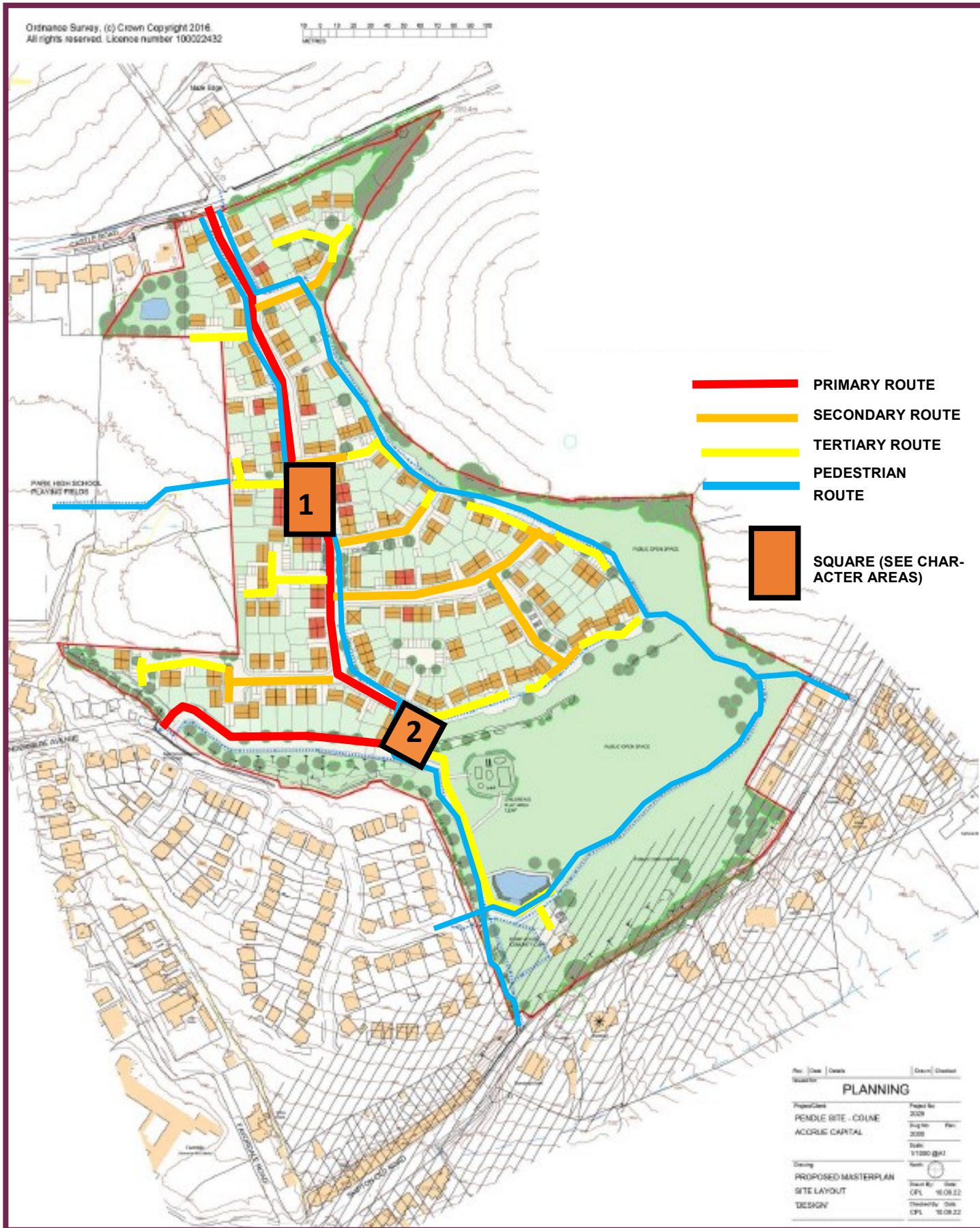
In addition to these two routes running north south and north/southeast, additional new footpath linkages are possible into land to the east of the Park High School and the new McDermott Development to the south west corner of the site. These additions would aid permeability and give greater levels of foot traffic access to the retained open space on site from existing developments and to other parts of Colne from the new proposals. It is key that any proposal makes every effort to secure and incorporate such linkages.

G



5) LAYOUT AND IDENTITY

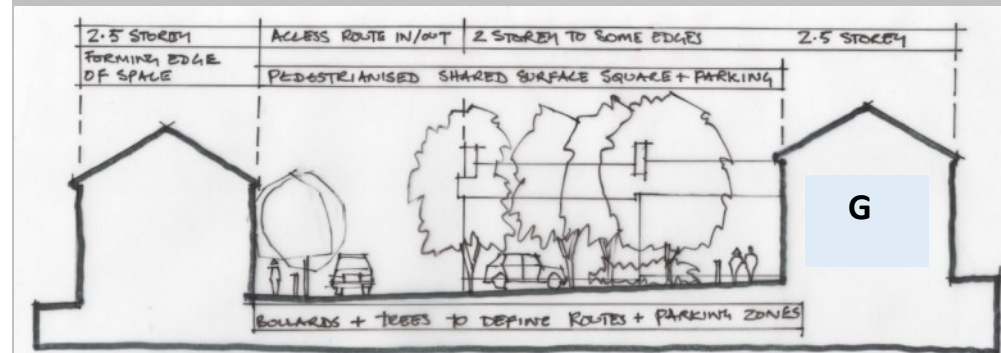
c) Places of Identity within routes



Within any successful residential layout it is important to provide key locations whereby route-finding is made easy for the pedestrian or driver, whether they be resident or visitor. The style of road, either more formal or informal, wide, narrow or varied or with control geometry and/or devices to aid speed control can provide a different visual effect for the user. The presence and arrangement of dwellings in relation to the road edge is a key factor which affects the 'feel' of the route. It is necessary to introduce key spaces which provide focal points along each route or series of routes, for visual navigation, interest and the creation of vital spaces with identity appropriate with the location. These are taken from contextual study of the area. These spaces are proposed in the illustrative layout by means of two squares of differing character. The relationship between the road and the buildings and their height each side provides this identity together with proposed surface treatments. **Any RMA shall incorporate such spaces.**

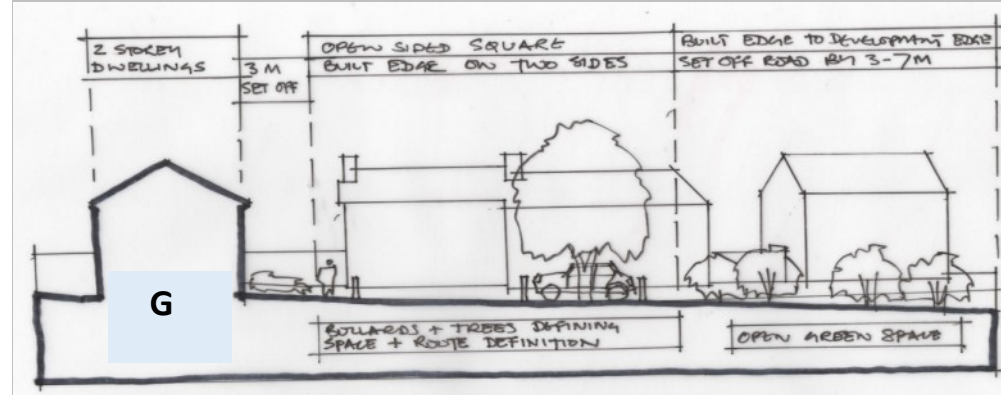
SQUARE 1

In any RMA this is to be situated at a midway point of the primary route. It shall be enclosed by the densest arrangement of dwellings within the layout with buildings being built close to the 'back of pavement line'. A typical section through this space is shown below and should be utilised in any future proposal.



SQUARE 2

In any RMA this is to be situated at the end of the western access road into the site. It shall be partially enclosed by buildings on two sides and be open to the public open green spaces to the south and east. It shall also be accessed by pedestrian routes from the south and a cycle route running north south. On the built sides, dwellings are to be set back from the back of pavement edge to give a more open character to their situation. The other sides are open to green space. A typical section through this space is shown below.



d)) Built Areas and Densities, Building Heights and other Site Features

AREAS

The site comprises some 9.527 Hectares. In any future RMA, the area of land with proposed residential buildings is to be contained within a maximum of 5 Hectares situated to the north of the site. The remainder of 4.527Ha is left for landscape, footpaths, LEAP, SUDs features and the renovated community facility of the Pump House. This is a key feature of the proposal to ensure that the character of the Lidgett and Bents Conservation Area is not in any way detrimentally affected by the proposals.

All along the eastern boundary, a strong buffer is to be incorporated and shall be of rough grass, existing trees and enhanced trees and hedgerows with the definition of the edge of the site being the existing dry stone wall which shall be renovated and strengthened where required. Figure 1 demonstrates the parameter areas of built land and green recreational space.

DENSITIES AND HEIGHTS

As noted on pages 10 and 12 of this Design Code, any RMA proposal shall have an overall density on land which is built upon of 30 dwellings per Hectare. Within this and defining the different character areas, there are varied densities of development.

The densest development shall be in the central area of built land. To the north and south of this zone a lower medium density shall be utilised. To the east and buffer with the open countryside, a lower density still shall be employed. Highest central density is to be 35-40 dwellings per Ha (shown in dark orange). Medium density shall be between 25-30 dwellings per Ha (shown in light orange) and lower densities shall be at approximately 20 dwellings per Ha (shown in pale yellow). Figure 2 indicates the split of densities and their zones.

As can be seen in the context studies of existing dwellings on Skipton Old Road (pages 8 and 9), there is a mix of 2 and 3 storey building in the locality. The proposals shall include for a similar variety, with 20 of the 150 dwellings shown being 2.5 / 3 storey. These are to be located in the central higher density zone. These are shown in a darker tone on each figure opposite and in more detail in the site layout 2029_2000 and the house type drawings 2029_401 et seq.

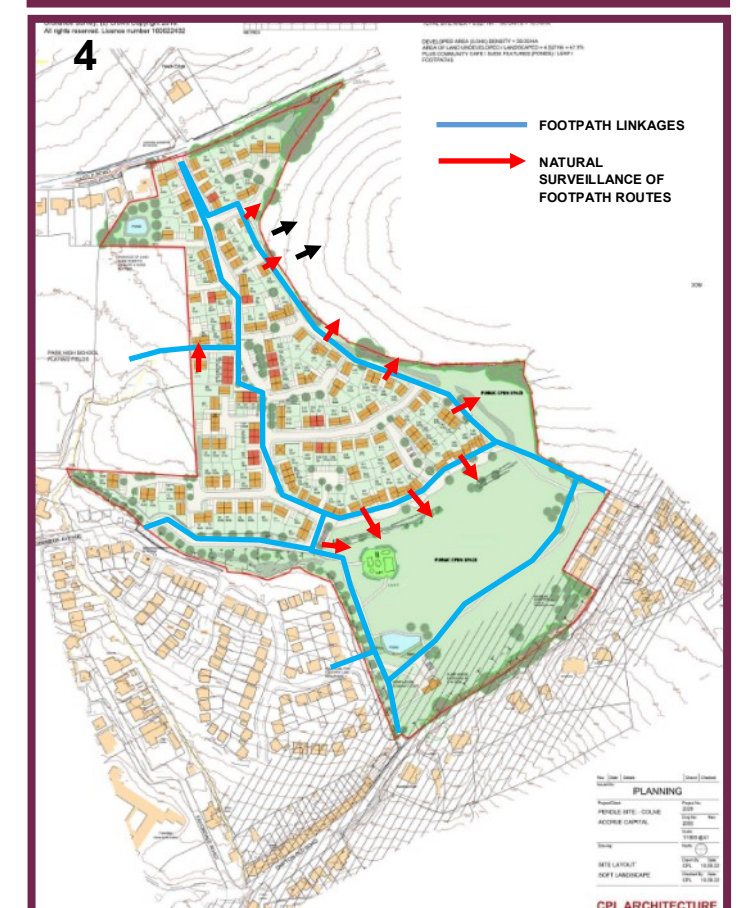
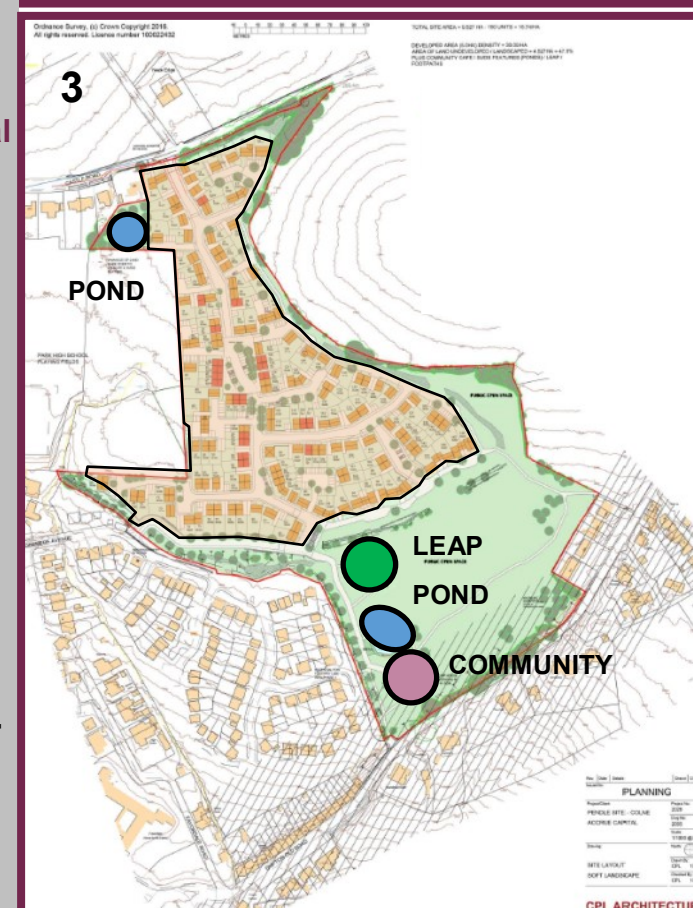
Any future RMA proposal shall incorporate this variety and arrangement of density and building height.

OTHER SITE FEATURES

Within the green spaces, community based features are proposed which will benefit the site development and the wider area.

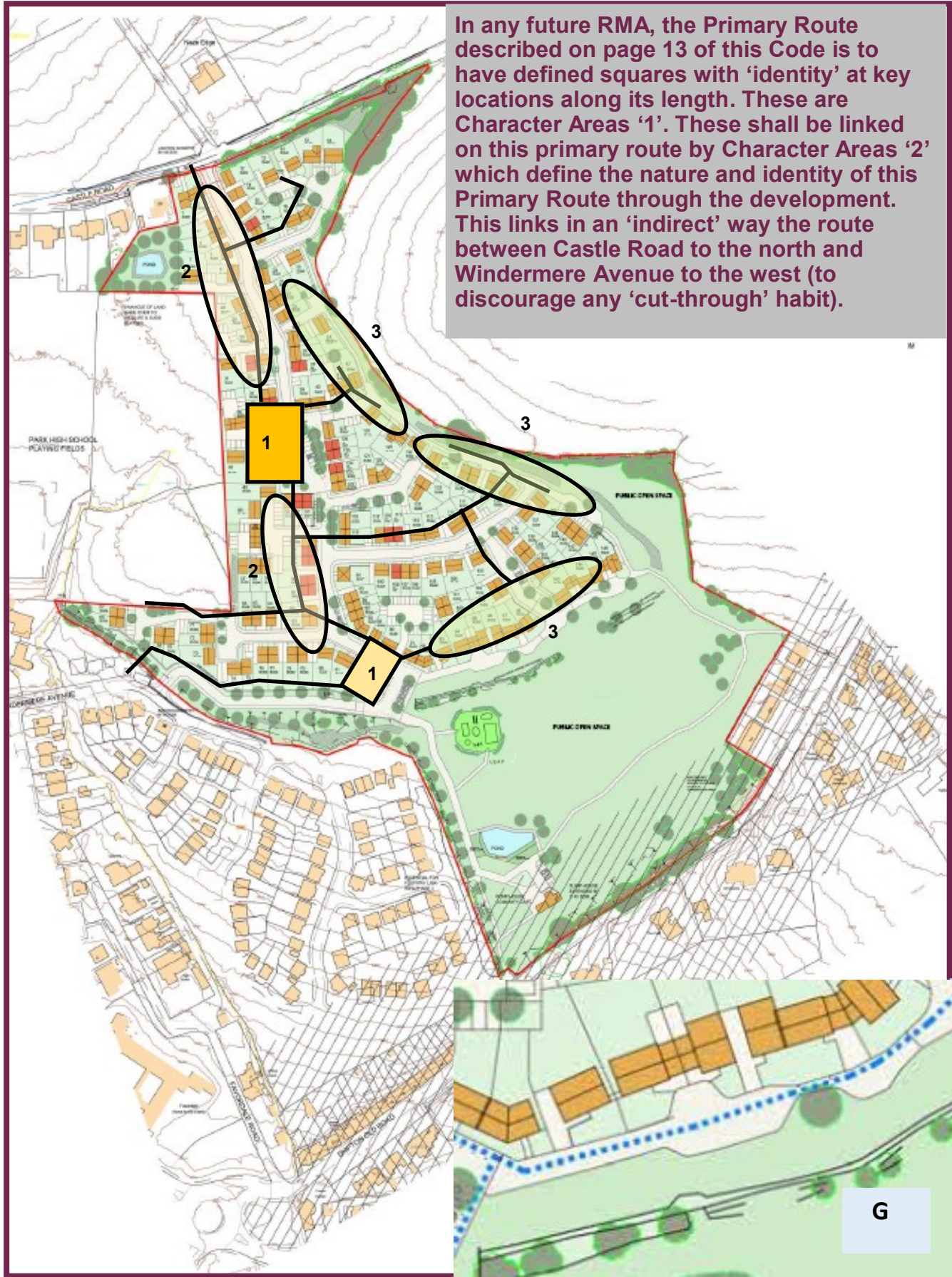
Figure 3 shows the location of ponds (linked to a SUDs drainage scheme—Ref report by Wardell Armstrong), a LEAP (Local Equipped Area for Children's Play) and the converted and extended Pump House to become a community facility under Class E or F. These facilities shall be incorporated within any RMA layout.

In addition to the road and pathway network running through the development, the two existing public rights of way are incorporated and enhanced with new linkages within the site running east—west and suggestions made to create a link into the Park School land and the McDermott Homes development both to the west. In any future RMA, the dwellings in the vicinity of these linkages and all footways and footpaths shall be located and orientated so they provide extensive natural surveillance to pedestrians using these paths. Particular areas of importance are shown in Figure 4.



5) LAYOUT AND IDENTITY

e) Character Areas 1



CHARACTER AREA 1 (Squares)

Any future RMA shall incorporate enclosed or open sided squares (see page 14 of this Design Code - Places of Identity) with appropriate LCSG and M f S compliant surfaces, edge treatment and informal parking, trees and clear sense of enclosure. These are key areas giving a 'sense of place and identity' to the development.

In any future RMA it is important that these spaces have their own individual identity with one being enclosed, the other open on two sides to benefit from the open space to the south and to differentiate between the two. They shall be clear 'centres' within the scheme to aid navigation through the development.



CHARACTER AREA 2 (Organic Streets)

Any future RMA shall incorporate lengths of variable width road and pedestrian zones linking each of the squares together with the external transport network. These shall be gently winding streets with appropriate LCSG and M f S compliant guidance. Dwellings shall be close to the back edge of pavement to define the edges of public spaces.

To assist with speed control within LCC guidelines, tight corners and an organic key elements. This approach to street design restricts vehicle speed and gives pedestrian hierarchical authority.



CHARACTER AREA 3 (Open Edge of Development)

Any future RMA shall incorporate borders to the open edges of the development with dwellings fronting onto private drives and open green landscape. Natural surveillance from dwellings over the drives and green space is essential. These areas shall also be enhanced within a detailed landscape proposals with new indigenous tree planting within the natural rough grass landscape.

These characteristics are exhibited in the illustrative layouts and shall form part of any future proposal.

5) LAYOUT AND IDENTITY

f) Character Areas 2

Clear definition of public and private space should be shown in all areas of the development. This is demonstrated in the illustrative proposals in each of the examples of character areas below. This is obvious in the larger areas of open space but requires careful handling in between and around dwellings and routes.



CHARACTER AREA 1

This is an illustrative plan of the central enclosed square. (Character Area 1).

In any future RMA, the dwellings facing the square shall directly address the public space which is to be defined by surface texture, trees and street furniture. The routes for pedestrians and vehicles are to be inferred with low run-over kerbs or other informal LCC compliant edge treatment. Parking spaces are to be indicated by surface texture and street furniture. The entrance and exit from the square is defined by specific LCSG compliant surface treatment in the vehicular routes. The combination of these features will provide individual identity to the space, clarity to the public edge and definition to the various activities within it.

The rear gardens of dwellings shall have access either to the side or rear of their respective dwelling. Each are to be at least 11m long to give good private space to the dwelling they serve. Each private garden shall have an enclosed cycle store, hard standing for recycling refuse bins and be fully enclosed by 1.8m high larch fencing. To the side of dwellings fronting onto more than one public space, a reconstituted stone or natural stone wall boundary definition should be included. (Indicated with a 'X' on the plan here).



CHARACTER AREA 2

Similar to Character Area 1, there is clear definition between the public and private spaces. Gardens to private dwellings are similar.

The road and pavement public zone shall be of organic shape to give variety and identity.

Where there are paths to the side of dwellings, a minimum of 1.2m width shall be allowed. Where there is an on plot parking space alongside a dwelling, a minimum of 3m width shall be allowed.

Dwellings in this zone shall either address the 'back of pavement' edge directly as in Character Area 1 or be set back by between 1 and 2.5m to provide a definite private landscape zone.

All areas of public space are to be overlooked by dwelling front and side elevations.

All private garden spaces fronting onto more than one public space are to be defined by reconstituted or natural stone garden walls, or combination of this masonry with timber fencing 1.8m high. Each private garden will have a cycle store, recycling refuse bins hard standing and will be fully enclosed.



CHARACTER AREA 3

The softer edges of the development with lower density distribution of dwellings should still maintain a clear differentiation between public and private space.

Private drives and footpaths shall be of organic form and be of minimum widths permissible in LCSG and M f S guidance. Public spaces are to be overlooked by front and/or side elevations of dwellings and soft landscaped front gardens are to define the frontages to each private dwelling. Dwellings shall be set back from the back of road/pavement edge by between 3 and 7m with an appropriate boundary definition to delineate the road edge from the garden. Each private rear garden shall have a cycle store, recycling refuse bins hard standing and will be fully enclosed by either timber fencing or reconstituted or natural stone walls.

5) LAYOUT

g) Public Service Vehicles, Public Transport, Cycle Routes

In any residential layout it is important to consider facilities for public service vehicles, public transport opportunities and cycle facilities.

PUBLIC SERVICE VEHICLES

All dwellings shall be accessible (within LCC guidance) by public service waste collection vehicles within the maximum distances for reversing and operative walking. The facility for turning waste collection vehicles shall also be incorporated to ensure there is no requirement for any communal waste storage facilities away from each private dwelling plot, which can look unsightly and be sources of smell and vermin.

There shall also be full compliance and space for the provision of access and turning for fire and ambulance vehicles throughout the development.

The illustrative layout achieves these features and any future RMA proposal shall ensure the same.

PUBLIC TRANSPORT

It is recognised that bus services depend upon a commercially viable route being workable. However it is considered essential to build into any layout of this scale the future provision for a logical bus route.

This is achievable within the illustrative layout as shown on the plan here with North and South bound bus-stops marked in sensible positions. This illustrative bus route links Castle Road with Windermere Avenue. It may also be possible to have a stop within the central square marked CS on this plan.

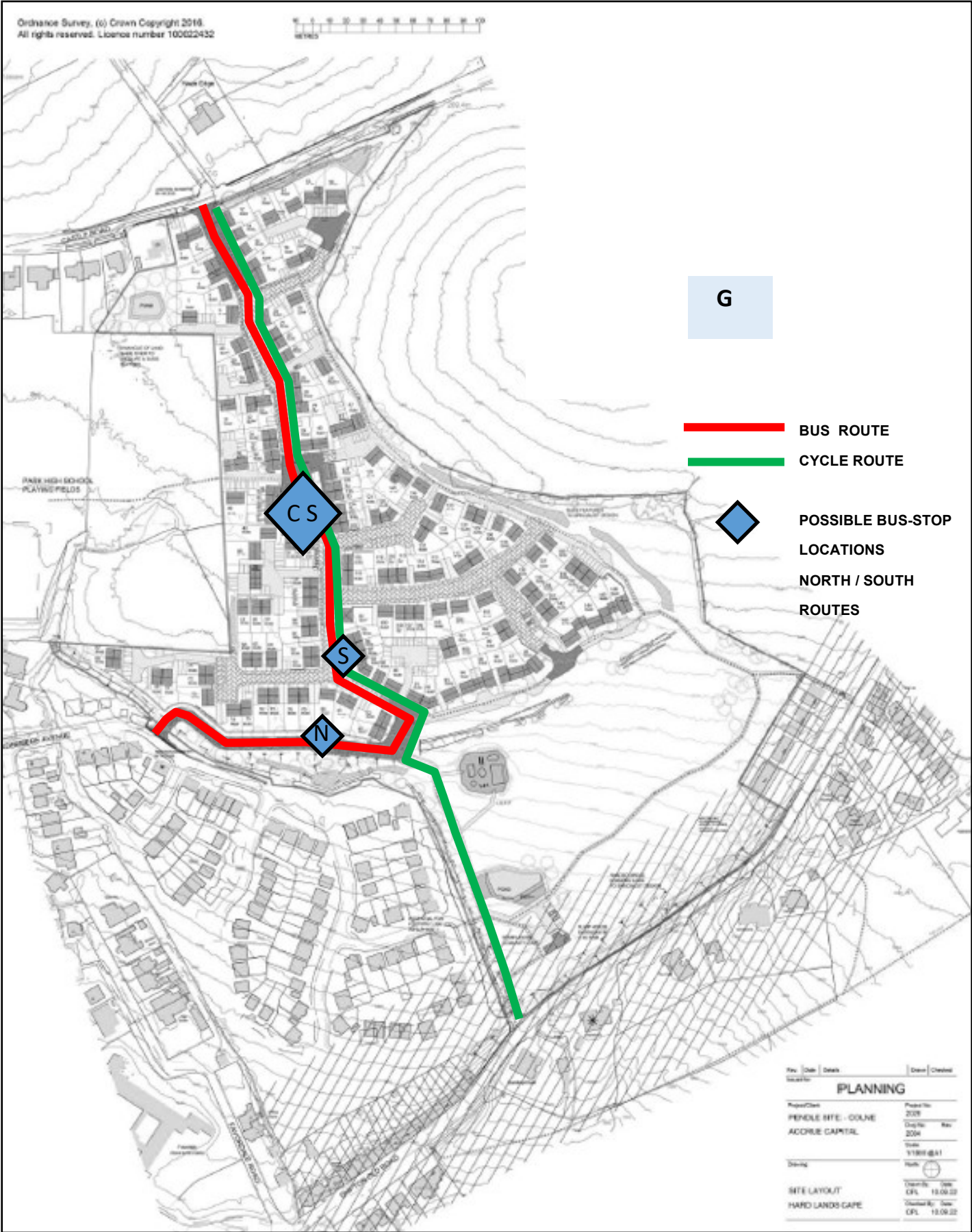
In any future proposal, facilities for a bus route with stops serving both north and south bound should aim to have these facilities incorporated.

CYCLE ROUTES

Every dwelling shall have cycle storage facilities incorporated within their individual plots and as part of the national move towards more sustainable forms of travel, it is important to provide greater permeability for cyclists within an overall transport network.

Whilst there is to be no proposal for any vehicular access onto Skipton Old Road, there is a footway linkage from the site at this point and any future proposal shall incorporate a cycle route from the current access point on Skipton Old Road, through the site's network up to Castle Road in the north.

This is achieved in the illustrative layout and shall form part of any future proposal.



6) BUILDINGS - DWELLINGS

a) Scale and Building Blocks

The scale of the development is a function of the individual building blocks of the project, in this case the dwellings themselves, the spaces and routes between them and the areas of land undeveloped and left as open space or other amenity such as LEAP, SUDs feature or in this case the Community Building—the Pump House.

This Design Code has previously examined the extent of land to be used for building and left for open green space, has explained the amount and use of the proposals and has set parameters for the distribution and layout of the overall site.

The building blocks of the scheme are now examined, namely the houses themselves.

The illustrative designs for each house type comply with minimum NDSS standards and have been based on careful study of local vernacular built form, detail and materials paying particular attention to window to wall ratios and window distribution, gutter details, roof pitches and chimneys. Illustrative examples are shown below with 3D images on page 20 and in the appendix to this Design Code. Any future RMA shall use these design parameters as mandatory criteria for the creation of any new housetypes if the illustrative types within appendix to this Code are not utilised.

The house type designs shall also comply with the spatial requirements of the NDSS as a minimum standard.

In addition to this, each dwelling shall be designed to provide an enhanced level of insulation in the walls, roof and floor to ensure they exceed the minimum Building Control requirements for the same by 10% to futureproof the performance of the fabric in terms of heat loss. This means that the external walls need to be a minimum of 380mm thick (made up of 125mm stone or re-con stone outer leaf, 140mm cavity made up of 15mm air gap and 125mm rigid board insulation, 100mm concrete block inner leaf and 15mm dryline plasterboard. This level and dimension of construction is allowed for within the overall illustrative site layout and shall be a pre-requisite of any future RMA proposal.

A minimum variety of at least 13 house types shall be provided across the site.

The 13 House - types illustrated in this proposal complying with the above design criteria are shown in Appendix 1 to this Design Code.

Typical dwellings are illustrated here below of a Small scale dwelling (2B4P 80.6sqm) a medium scale dwelling (3B5P 93.6 sqm) and a larger scale dwelling (4B8P 151.2sqm)

Any future RMA shall ensure that the ratio of wall to window, the irregular placement of windows, the roof pitch, plan depth and length and the detailing of eaves and porch all combine to produce a scale of dwelling that is commensurate with the existing well defined and attractive local examples existing in the immediate locality. It is essential that this new development takes on the vernacular language of this local identity to be a successful development.

2B4P 80.6sqm House. Detached / Semi—Detached or Terraced



3B5P 93.6sqm House or 4B7P 123.85sqm House (2.5st) Detached / Semi—Detached or Terraced



4B8P 151.2 sqm House Detached



6) BUILDINGS - DWELLINGS

b) Appearance and Materials / Dwellings



2B4P HOUSE - 80.6 SQM LONG SIDE ENTRY



3B5P HOUSE - 93.6 SQM - SHORT SIDE ENTRY



4B8P - 151.2 SQM HOUSE

The three examples of house type design illustrated on the previous page are shown again here as 3D images.

Any future RMA proposal shall adopt the appearance of each housetype expressly to be in the style of the local Lancashire vernacular language. The majority of plan forms shall be a simple rectangle with either its short side or its long side presented to the front elevation. Window patterns shall not all be regularly distributed. All houses shall have a chimney. Gutter brackets shall be corbelled projecting masonry. Window surrounds shall be ashlar masonry type with walls in random course heights brought to course in random stone lengths.

This language is typified by the simple rectangular plan form, irregular window patterns, corbelled stone gutter brackets, stone or slate pitched roofs, re-con natural stone or painted stone door and window surrounds, small porches on larger houses and no porches on smaller houses.

A full schedule of materiality for the proposed development is provided as an illustrative application document and full material details are shown on each house type drawing.

Variety is achieved by several means. The number of house type designs and their organic layout achieves a natural appearance of the design, unlike any standard housebuilder layout.

Materials for house types in any future RMA shall be or shall be of equal appearance and quality to the following: -

WALLS - Forticrete Anstone Old Heather Black Pitched stone laid to course in random course heights and random lengths. Square form houses to be rendered in pastel shade but with window surrounds as all houses.

WINDOWS - Painted Timber (Accoya or similar).

WINDOW SURROUNDS AND CILLS - Surrounds in ashlar stone left natural or painted white, black, pale green.

GUTTERS - Stone corbel brackets to support square section RW Goods in Black Faux Iron gutters and downpipes.

ROOFS - Natural Blue Slate or Greys Artstone reconstituted diminishing stone slates. Blue ridge tiles. Development schedule details which plot is which.

PORCHES - Medium sized houses have a flat topped timber (Douglas Fir) roof supported on gallows brackets and larger houses a pitched roof (to match the house they serve) on a Douglas Fir framed porch again supported on allows brackets.

Any future RMA proposal shall utilise these criteria for the design of housetypes, the language, size and scale of their appearance and materiality.

In addition to the dwellings, the development includes the renovation and extension of the Pump House in the southern corner of the site. This is illustrated in a full suite of drawings as part of the application. Extracts of these are shown on the following page.

6) BUILDINGS - COMMUNITY
c) Community Building / Pump House

There is one building presently located on the site. This is a stone built Pump House in the southern corner which was a building associated with a reservoir which was also located on the southern part of the site. The reservoir has long since been decommissioned and removed. As a result, the Pump House has fallen into dereliction and is now boarded up and out of use.

An opportunity exists to bring this building back into an appropriate use and this forms part of the illustrative proposals for the site.

The illustrative proposals show below how this building could be renovated and extended to form a small Community Facility with ancillary use such as a Café or Art exhibition space and information centre.

In any future RMA, the existing Pump House building shall be repaired in like for like materials of natural gritstone walls and coping stones, natural blue slate roof and faux iron downpipes and gutters. New extensions should be faced in vertical larch boarding under a natural blue slate roof. PPC Aluminium trims to eaves and flashings and PPC Aluminium windows and doors shall complete the appearance.

The Pump House is located at the lower end of the existing footpath just before it exits the site onto Skipton Old Road. The location of this building has been considered carefully within the overall layout of the site.

It is anticipated that as the building is on an established desire line and walking route, it will be easy to use and encourage visitors.

The existing building has a gross internal area of 36sqm. The extended and refurbished building shall have a gross internal area of approximately 77.25sqm.

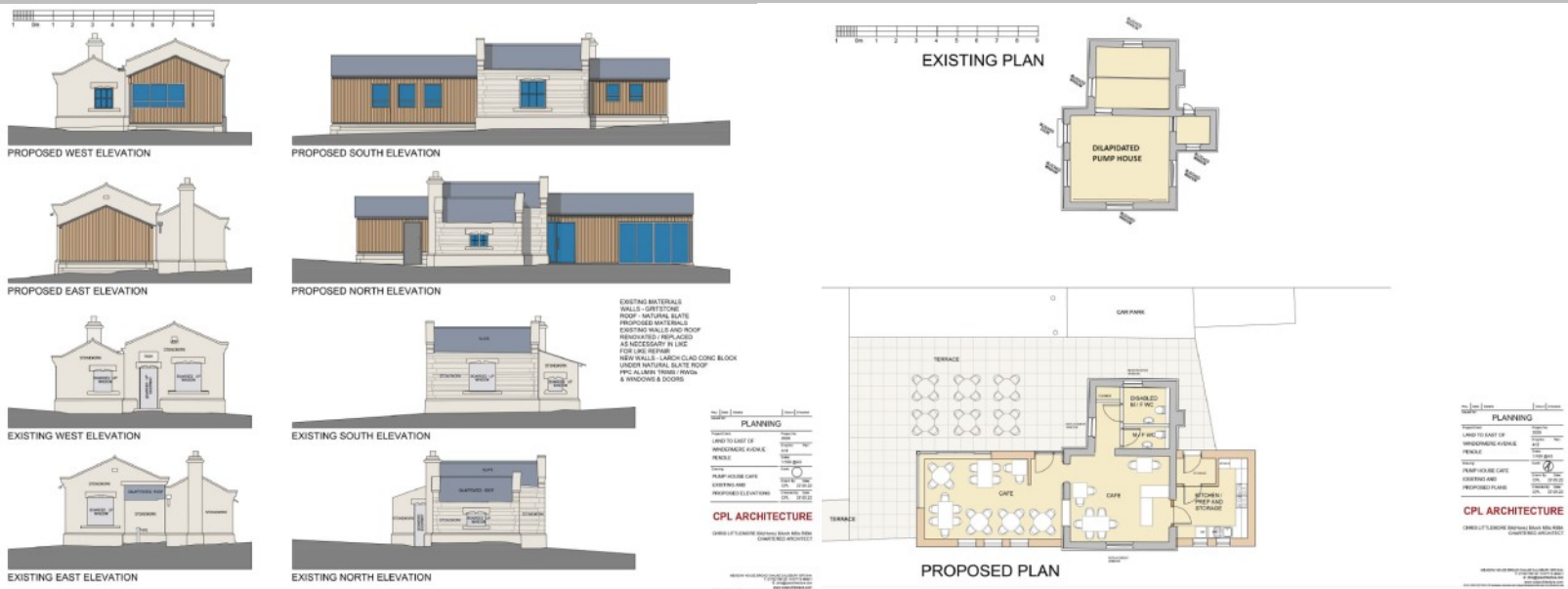
Future RMA proposals shall follow this Design Code guidance for a sensitive and appropriate renovation and extension of this building.



PUMP HOUSE COMMUNITY CAFE - VIEW FROM NORTH WEST



PUMP HOUSE COMMUNITY CAFE - VIEW FROM NORTH EAST



7) BUILDING FOR A HEALTHY LIFE

The government's guidance document 'Building for a Healthy Life' has been followed closely whilst the illustrative designs for this site have been formulated. Any future RMA proposal shall follow the 12 principles for BFHL.

1) Natural Connections

There are excellent pedestrian connections incorporated and enhanced within the illustrative design, ensuring the existing footpaths and rights of way are included, enhanced and developed to increase the connectivity of the site with its immediate surroundings where no connections exist at present. Additional routes crossing the site east—west in the southern sector shall be introduced and the facility exists to create linkages into the Park High School site and into the McDermott Developments housing site. These shall be incorporated into any future RMA proposal.

2) Facilities and Services

Other than for the two public rights of way crossing the site, the land is not used formally at present for anything other than the grazing of stock. The one building situated on it is derelict. As part of the proposed development, a new Community Facility with ancillary use such as a Café or local Art Display is proposed to be incorporated from this derelict building providing a new facility for the local area. A new children's equipped area for play is also proposed as are two new permanent ponds which will function as part of a sustainable urban drainage scheme and as centres of enhanced biodiversity. These features shall be incorporated into any future RMA proposal.

3) Walking Cycling and Public Transport

Whilst there is no defined commercial requirement for a bus route through the site at present, the illustrative designs allow for the incorporation of a bus stop in each direction on the main north south route through the site between Windermere Avenue and Castle Road. The existing public footpaths are extended and new link made to adjacent land where none exist at present. A cycle route would be introduced running north to south. These features shall be made possible and be incorporated into any future RMA proposal.

4) Meeting local housing requirements - Homes for Everyone

There is an established need for appropriate housing provision in the Borough of Pendle and the illustrative proposals closely follow the requirements set out in the Core Strategy document (LIV5) for housing type, size and mix. The standards of design follow nationally defined criteria in the NDSS for space and facilities. These again shall be incorporated into any future RMA proposal.

5) Memorable Character

A close analysis of the local vernacular language of building, together with an understanding of more recent successful and less successful design proposals, has given rise to the illustrative proposal of a suite of new dwellings in an organic arrangement which typify the north Lancashire settlement pattern and appearance. House form, details and materials are all recognisable as being of the immediate locality. The spaces between buildings in the form of Character Areas 1 (Squares) ,2 (Organic Streets) and 3 (Open Edge of Development) are also typical of an organic settlement in this area. These features shall be incorporated into any future RMA proposal.

6) Working with the site and its context

Extensive studies of the site have been undertaken in the form of Heritage assessments and a Landscape Visual Impact Assessment. These have informed the location of the built form, the primary, secondary and tertiary routes for vehicles and pedestrians, the areas of lower and higher density, the locations of strategic landscape and other features and the overall illustrative design and appearance of the outline proposals. In addition to this an extensive study of the site and its relationship with the Lidgett and Bents Conservation Area (CA) to the south has been undertaken in order to be able to assess the impact upon the CA of any forthcoming proposal. A total of 10 key views have been identified and discussed with the LA Planning team as appropriate view points to compare existing and proposed views. Accurate and verifiable photographs and 3D CGI imagery have been taken from these 10 points. The results (included in the Design and Access Statement by CPL Architecture) and this Code demonstrate that a high degree of consideration has been and shall be given within the design, to ensure that there will be minimal harm imposed upon the CA as a result of the proposals. This was one of the key elements of the decision by the Inspector in the 2015/16 appeal which caused the appeal to be dismissed. It is vital that these a sensitive and considered approach is incorporated and utilised and tested by study of 3D CGI verified views from the same locations in any future RMA proposal.

The proposals recognise that the site is presently formed from rough grass and pasture land. Of the 9.527Ha of land within the red-line site definition, 47% is to be retained as soft landscape (a total of 4.527Ha). The majority of this open space is in the southern half of the site with a large buffer of space clearly defining the eastern edge and forming a definitive boundary between the development and the open countryside to the east. Any RMA shall incorporate this into any future proposal.

There is a triangle of land at the north western edge of the site lying behind the properties on Castle Road. It is proposed to retain this as open space and introduce a new pond feature forming part of the SUDs drainage proposals. As part of the facilities offered with the development, a further permanent pond is illustrated alongside the renovated Pump House together with a LEAP for children. These would not only serve this site but other housing in the immediate locality. New footpath links are suggested to provide a greater degree of accessibility and permeability to the movement networks. All of these features are highly desirable and shall be incorporated within any future RMA proposal.

7) Creating well defined streets and spaces

The study of local built form, details and materials is able to give rise to three principle Character Areas within the development which are essentially defined by the spaces between buildings and the building form and scale. The use of organic linear non parallel sided routes with a mixture of terraced, semi-detached and detached properties in varying densities from high in Character Area 1 to low in Character Area 3 give identify to each that are recognisable and 'of their place'. Any future RMA shall follow these principles and the result incorporated into any future proposal.

8) Easy to find your way around

The use of the organic linear street pattern interspersed with enclosed and open squares and extensive footpaths either on shared surfaces or as footpath routes gives an individual identity to each area of the development. In addition to this the use of materials and building details give reference to particular points within the development. The use of a rendered house at a particular intersection of routes, the variety of colour to the stone surrounds of windows and doors on particular properties, the alternative roofing material of either slate or reconstituted diminishing course stone all give a recognisable identity to particular dwellings or groups of dwellings. These characteristics shall be incorporated into any future RMA proposal.

There are in the illustrative outline proposals, views through the development along streets, squares and between dwellings which extend to the distant moorland and Colne townscape. All of these combine to produce a development in which every dwelling can be described by its location, referencing a change in direction, a colour, a view, a relationship to a square or a street intersection. This makes it very easy to navigate through the development either on foot or by vehicle. The sense of ownership and individual pride in owning a dwelling such as this is also enhanced by this ease of location and identity. These navigation features and principles shall be incorporated into any future proposal.

9) Healthy Streets for all

The street and footpath network illustrated in the proposal is based firmly on the guidance contained in the documents 'M f S' and LCSG. It ensures that the vast majority of street form is of an appropriate surface material and texture compliant with LCC requirements, is of varying width, is clearly defined as public space and in which the pedestrian has priority. There are extensive footpaths incorporated into the illustrated development as well as clear zones in public squares for informal parking and street landscape. Definition to the transition from a square (eg Character Area 1) to an organic linear street (Character Area 2) is created by a change in surface material to form subtle vehicle movement control points. Large timber bollards or similar street features in squares shall define vehicular movement and informal parking zones from pedestrian zones where necessary along with tree planting. All streets and footpaths shall have natural surveillance from dwellings at all points within the scheme. All streets and surfaces levels are to be arranged and detailed so that they are on ground falling at less than the LCC recommended gradient of 1 in 20. One length of footpath lining the east and west corners of the site adjacent to the Pump House Community Building is likely to require a short section of around 1 in 17 which follows the natural gradient of the ground. These features shall all be incorporated within any future proposal.

10) Cycle and Car Parking

All dwellings are to have a minimum of two parking spaces with larger dwellings having three. Most parking should be in private drive spaces forming part of the curtilage of each dwelling. There are informal visitor parking spaces in wider areas of the organic road layout and squares. Accessible parking is located also in squares and in a small area of parking associated with the Pump House which is accessed down the length of private drive serving this building. Each private parking drive will have an electric vehicle charging point. Every dwelling will have an enclosed cycle store in the private garden. Cycle parking facilities can be introduced into each of the two main squares and near the Pump House community facility. These principles are to be followed in any future proposal.

11) Public and private spaces - Green and Blue Infrastructure

There are clearly defined public spaces forming both hard landscaped features within the development and wider extensive open grassland areas. The new network of footpaths increases the accessibility to this open green space. The proposed LEAP, pond and café are all new additional features which become pubic benefits. Public spaces will be enhanced by street furniture and new and enhanced existing tree planting. Informal visitor parking in the squares and occasional street based parking will have electric vehicle charging points available.

All dwellings have their own private garden space with the vast majority having private on-site parking facilities. Each private garden will be enclosed by stone walls or larch fencing or a combination of both. These features shall all be incorporated into any future proposal.

12) External storage and amenity space - Back of Pavement / Front of Home

All dwellings will have a hard standing area in their private garden for recycling and refuse bins. All dwellings are to be serviceable from a LCC Refuse vehicle within the requisite distances required for turning and reversing and for operatives to gain access to refuse containers. All containers shall be placed in an appropriate place on the appropriate day for emptying. Every dwelling will have an enclosed private garden of appropriate area accessible from an external gate alongside the dwelling or via a rear parking court or path. These features shall be incorporated into any future RMA proposal.

8) LANDSCAPE
a) Soft Landscape



A detailed Landscape Visual Impact Analysis has been undertaken by EDP which has informed the illustrative proposals and which shall also inform any future RMA proposal. EDP have also produced an illustrative landscape strategy which shall be read in conjunction with all information from CPL Architecture.

The illustrative layouts show the schematic nature of EDP's proposals. The layout has given a high degree of importance to setting the development in the landscape within its constraints all identified within CPLArchitecture's Design and Access Statement.

The essence of the large amount of retained and enhanced open space is to keep the open rough grassland appearance with added wild flowers. There will be enhanced tree planting on the eastern, southern and northern boundaries. The eastern hedgeline will be strengthened and the existing dry stone wall renovated and enhanced. These features shall form part of any future RMA proposal.

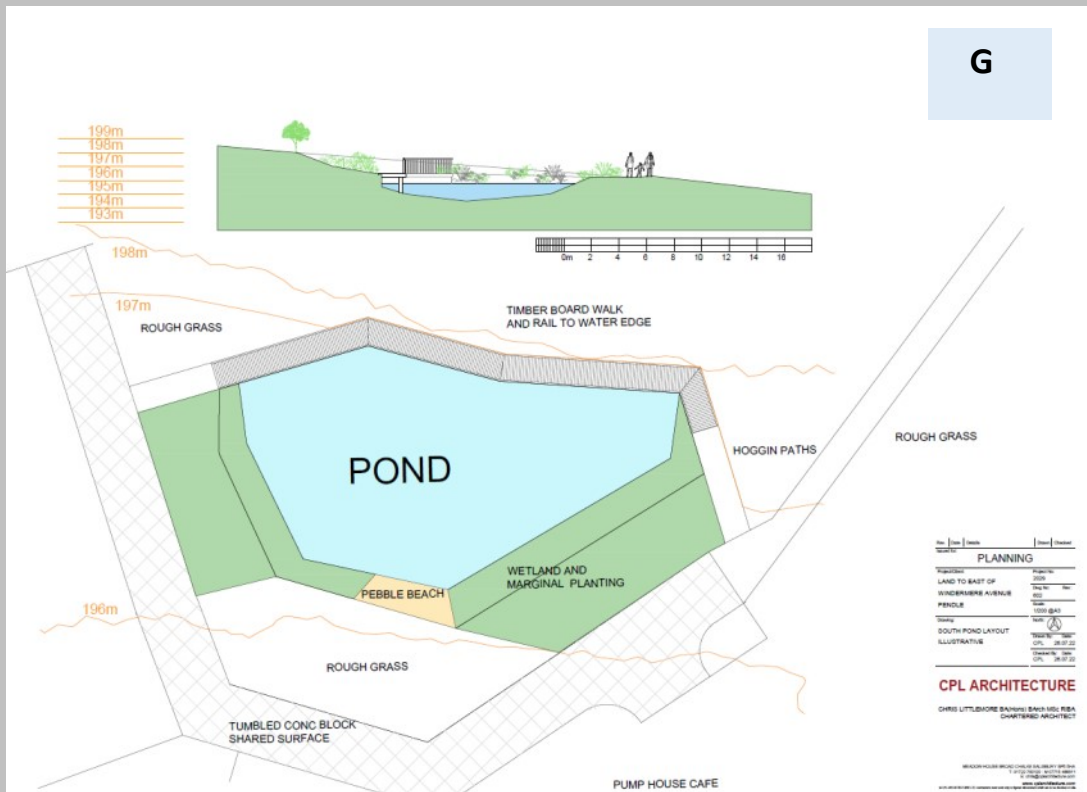
Within the site, it is possible to retain some of the existing old ditch and wall lines which have sporadic hawthorn and mixed species hedgerow trees. These are to be enhanced by additional planting. As part of the illustrative landscape proposals, a scheme for SUDs is proposed by Wardell Armstrong (Ref Separate Report by Wardell Armstrong). Principle features of SUDs are identified on this layout. These take the form of existing and proposed ditches and swales and two permanent ponds and underground connections between each. The ponds and swales will add to and enhance the degree of biodiversity within the site.

The pond proposed for the southern part of the site to the north of the Pump House is illustrated here. This has safe accessible routes around it and will become a beneficial public feature of the proposals.

The incorporation of a successful SUDs scheme will ensure that there is no additional drainage or flooding impact within the site or elsewhere as a result of the proposals. This is an essential requirement for any future RMA proposal.

The yellow boundary line shown on the plan opposite defines a minimum of 2.328 Ha of Recreation Space to be undeveloped and maintained as such in any future RMA.

All of these mandatory landscape features and principles shall be incorporated into any future proposal.



8) LANDSCAPE

b) Landscape - Hard

The illustrative layouts adopt the guidance from 'Manual for Streets' and LCSG in terms of the highways and hard landscape layout.

All road and path layouts shall follow guidance in M f S and LCSG.

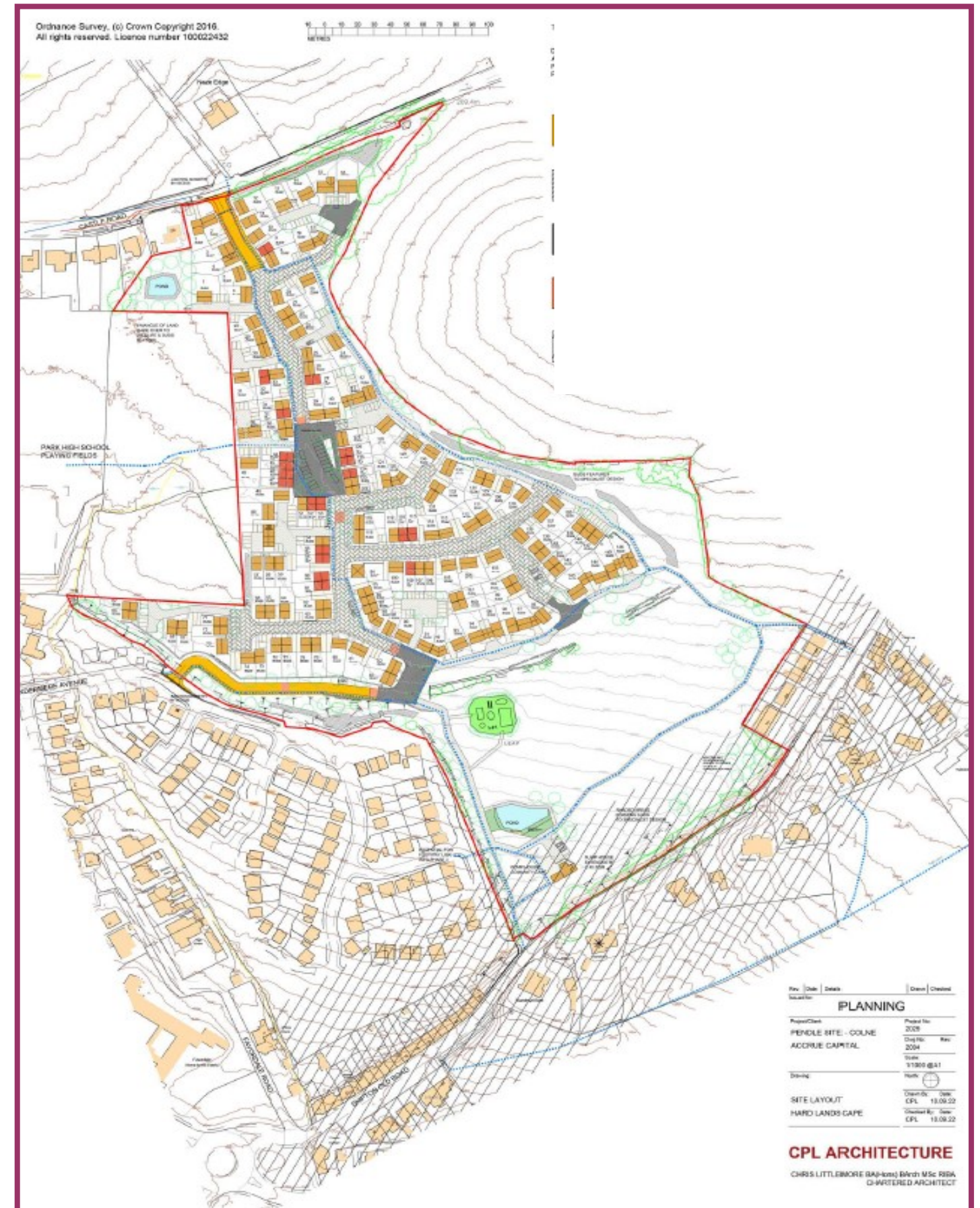
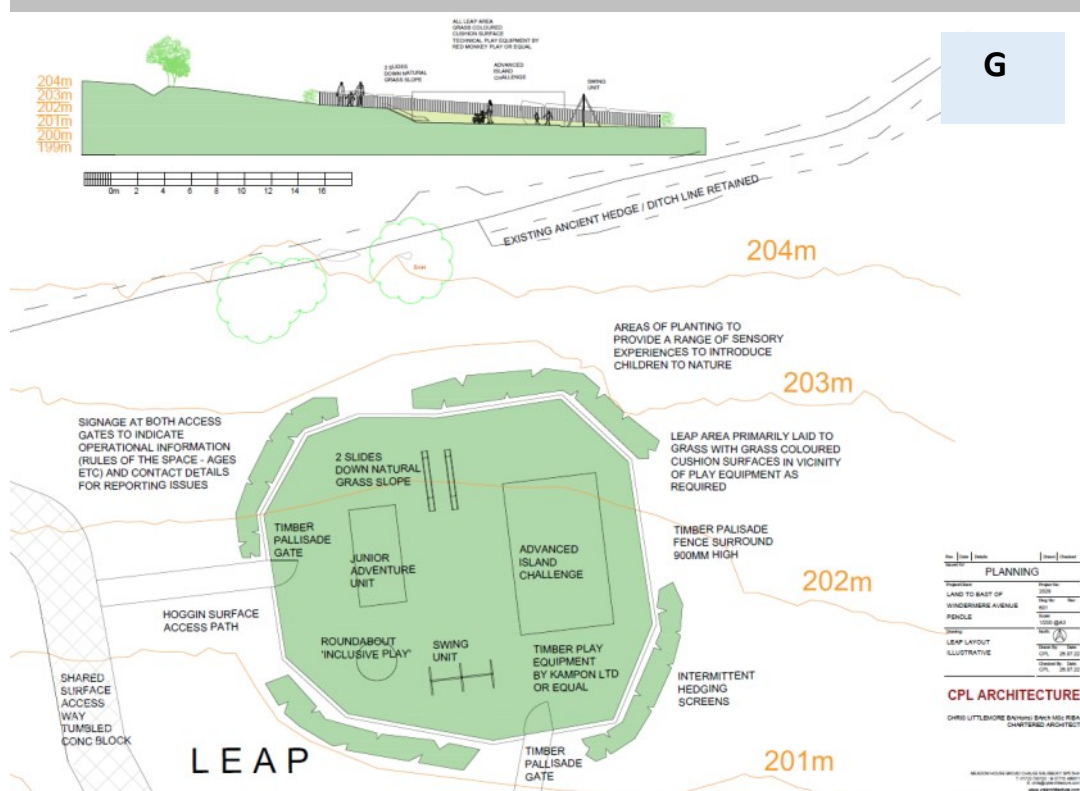
Definition between zones will be made by appropriate edge treatment, surface treatment, texture and width of road and incorporation of street furniture. Separate areas are denoted on the plan.

Pathways which become footways will be laid to compressed hoggin with treated timber edge boards to give a natural soft appearance.

Dwelling plots with a side garden elevation presenting to a footpath or shared surface shall be enclosed by reconstituted or natural stone walling to match the dwelling with Cock and Hen copings to a suitable height to provide privacy dependent upon the gradient of the ground and neighbouring properties.

One of public features incorporated within the illustrative proposals is that of a LEAP for children's play. This is to be located within the sloping ground to the south of the southern square. It is screened from view by the gradients and by perimeter hedge planting. Play features will utilise the slope of the ground for the most natural effect. The requisite recommended boundary distances from dwellings and habitable rooms shall be respected and exceeded.

An illustration of the proposed LEAP is provided below.



9) SUSTAINABILITY

a) Buildings

In line with the government's stated aims for reduction in carbon emissions, the following features of the site and proposed buildings within, are shown in the illustrated layouts and are to be incorporated into any future proposals:-

1) INSULATION AND HEAT SOURCE

Each dwelling shall exceed the thermal performance criteria set out in the Building Regulations by a minimum factor of 10%. All dwellings should have external cavity walls of 380mm made up of 125mm external leaf re-con stone (or 18mm painted render and 100mm conc block), appropriate mm air gap, 125mm rigid board insulation, 100mm concrete block, 15mm dry lining plasterboard. Other fabric should be made up with roof insulation of a minimum of 400mm quilt or 200mm rigid board insulation, double glazed windows with trickle vents and a minimum of 150mm rigid board under floor insulation.

Heating would be by under floor pipe networks and a minimum requirement for gas fired condensing boilers or preferably air source heat pumps as the source of heat.

2) TRANSPORT

Each dwelling will have an electric vehicle charging point situated in an appropriate position against the dwelling on a private driveway or under a car port.

Each dwelling will have an enclosed secure cycle store to be situated within the privately enclosed garden of the dwelling it serves. All gardens are to be accessible from an external route without going through the dwelling.

3) REFUSE

All kitchens will be provided with appropriate recycling under top containers.

Within the rear gardens of each dwelling, there will be a hardstanding for the storage of separate recycling containers as required by Pendle Borough Council. These will be brought to the front of the dwelling on the appropriate collection day and then returned to their individual garden after emptying.

4) DRAINAGE

Each property and road and path network will have storm water drainage which will be routed into a Sustainable Urban Drainage System.

Any SUDs scheme will reflect the final layout of any future RMA. An approved SUDs scheme is a mandatory requirement.

The principle of the SUDS is to ensure that there is no increased level or rate of storm water run-off or flooding arising within or without the site as a result of the development.

An illustrative proposal by Wardell Armstrong is based on the illustrative layout within the Outline Planning Application. This shows the structure of this system. The soft landscape plan identifies the principle features of ponds, swales and ditches.

LOCATION

The site lies on the eastern edge of Colne and is located close to a host of general facilities for shopping, leisure, education, worship and employment. Whilst it is on the eastern edge of the settlement, all of these facilities lies within a 15minute walk (1KM) from the centre of the site. See the aerial site view below.

PUBLIC TRANSPORT

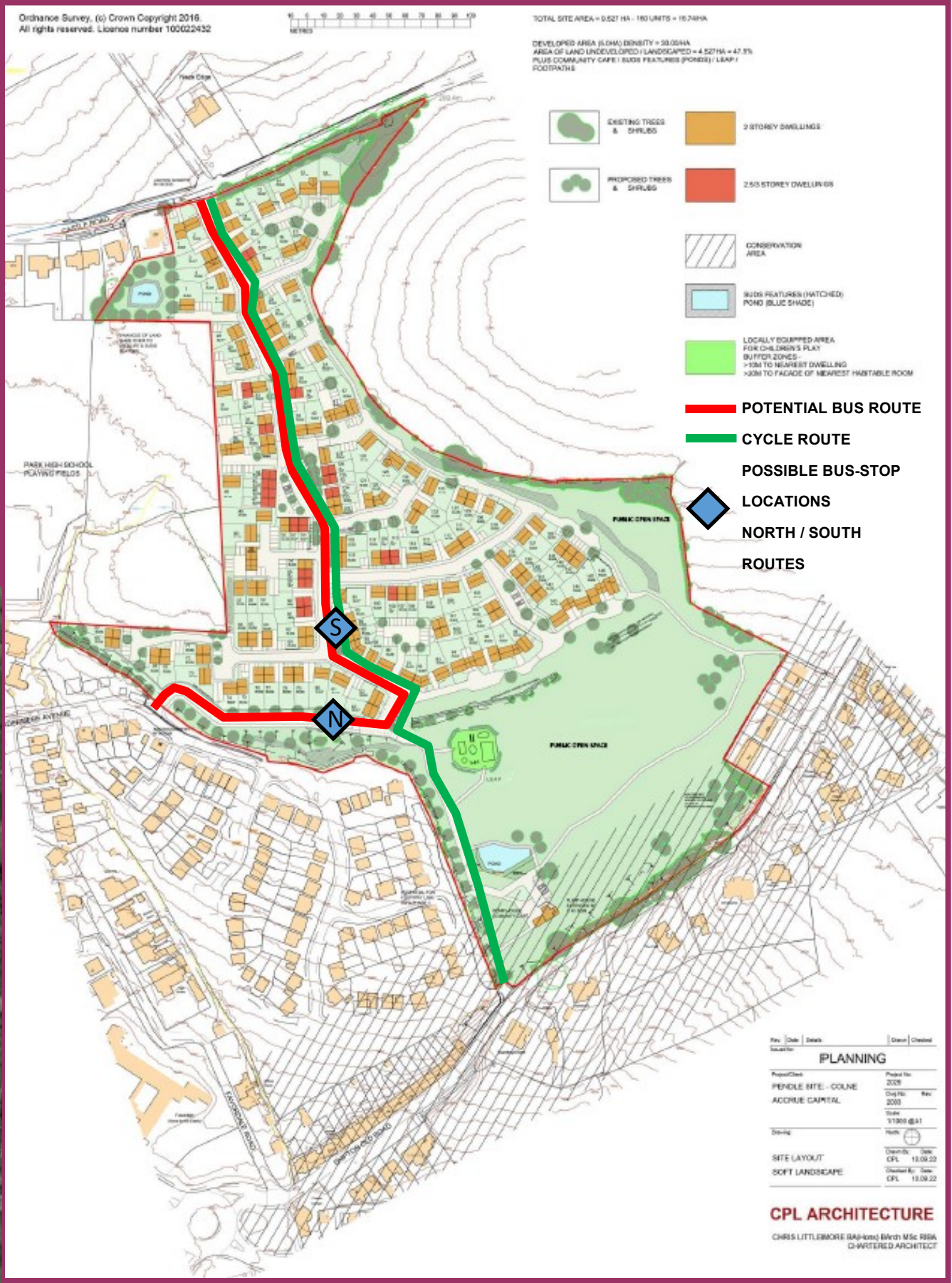
Colne is well served by public transport with a variety of bus routes and a railway station. If local bus companies see that an extension to their routes to come within the site is viable, provision shall exist in any future RMA proposals for a north and south bound stop to be located within the primary route.

ELECTRIC VEHICLES

Each dwelling is proposed to have an electric vehicle charging point as noted elsewhere. There will also be electric vehicle charging points at the principle visitor parking locations in each of the two squares (Character Areas 1) within the development. Any future RMA proposal shall incorporate these features.

CYCLE ROUTES

A cycle route shall be incorporated through the development as proposed and identified earlier in this document.



10) KEY VIEWS
VERIFIED VIEW 1



VERIFIED VIEW 1 - EXISTING

LOOKING UP SKIPTON OLD ROAD
EXISTING DERELICT PUMP HOUSE VISIBLE
NONE OF THE DEVELOPMENT SITE BEYOND
PUMP HOUSE IS VISIBLE



VERIFIED VIEW 1 - PROPOSED

RENOVATED AND EXTENDED PUMP HOUSE CAFE
IS VISIBLE

NO OTHER PROPOSED IS VISIBLE FROM THIS VIEWPOINT



THIS
VERIFIED
VIEW

Rev	Date	Details	Drawn	Checked
Issued to				
PLANNING				
Project No		2029	Rev	
Project Name		LAND TO EAST OF WINDERMERE AVE COLNE, PENDLE ACCRUE CAPITAL	3001	
Drawing		NTS	Scale	
Key Verified View 1		CPL 14.05.22	CPL 14.05.22	

CPL ARCHITECTURE

CHRIS LITTLEMORE BA(Hons) BA(Plan) MRB RIBA
CHARTERED ARCHITECT

As part of the design control process in forming the illustrative proposals, this verified view is produced with before and after 3D CGI verified imagery by Visual Horizons Ltd.

Any future RMA proposal shall also produce this verified view from the identical location for comparison to ensure compliance with the design principles established in this Code and there is no greater degree of harm created in any proposal.

10) KEY VIEWS VERIFIED VIEW 2

As part of the design control process in forming the illustrative proposals, this verified view is produced with before and after 3D CGI verified imagery by Visual Horizons Ltd.

Any future RMA proposal shall also produce this verified view from the identical location for comparison to ensure compliance with the design principles established in this Code and there is no greater degree of harm created in any proposal.



VERIFIED VIEW 2 - EXISTING

FROM SIPTON OLD ROAD LOOKING NORTH NORTH EAST INTO THE SITE AT THE START OF THE UNMADE FOOTPATH WHICH CROSSES THE SITE



VERIFIED VIEW 2 - PROPOSED

ONE VERY SMALL ROOF RIDGE AND CHIMNEY ARE VISIBLE ABOVE THE GRASS HORIZON. THIS IS SHOWN WITHIN THE LENGTH OF GREEN LINE. ALL OTHER DEVELOPMENT IS SCREENED OR OUT OF SIGHT FROM THIS VIEW BY THE NATURAL TOPOGRAPHY.

THE PROFILE (VISIBLE AND HIDDEN) OF PROPOSED ROOFSCAPE IS SHOWN WITH A RED LINE

Rev	Code	Details	Drawn	Checked
00/00/00				
PLANNING				
Project No.	2029		Project Name	
Project Address	LAND TO EAST OF WINDERMERE AVE		Project Status	
Project Date	14.09.22		Project By	
Project Name	COLNE, PENDLE ACCRUE CAPITAL		Project Status	
Project Address	NTS		Project Date	
Project Date	14.09.22		Project By	
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Project Status	NTS			

10) KEY VIEWS
VERIFIED VIEW 3



VERIFIED VIEW 3 - EXISTING
ON SKIPTON OLD ROAD LOOKING SOUTH WEST
DOWN THE HILL.



VERIFIED VIEW 3 - PROPOSED
THERE IS NO EXTENT OF THE PROPOSED DEVELOPMENT VISIBLE
IN THIS VIEW



THIS
VERIFIED
VIEW

Rev	Date	Details	Drawn	Checked
1	14.05.22	14.05.22		
PLANNING				
Project No.	2029	Project No.	2029	
Client	ACCUE CAPITAL	Client	ACCUE CAPITAL	
Scale	1:500	Scale	1:500	
Drawn	NTS	Drawn	NTS	
Checked	CPL 14.05.22	Checked	CPL 14.05.22	
Approved	CPL 14.05.22	Approved	CPL 14.05.22	
CPL ARCHITECTURE				
CHRIS LITTLEMORE BA(Hons) BArch MRB RIBA				
CHARTERED ARCHITECT				
MEADOW HOUSE (BROAD CHALK) BALNEIGH SPH 1918				
T: 01252 766125 M: 077 41 488811				
E: chris@littlemore.co.uk				
WWW: littlemore.co.uk				
ALL ARCHITECTURAL DRAWINGS MUST BE SIGNED AND DATED BY THE ARCHITECT				

As part of the design control process in forming the illustrative proposals, this verified view is produced with before and after 3D CGI verified imagery by Visual Horizons Ltd.

Any future RMA proposal shall also produce this verified view from the identical location for comparison to ensure compliance with the design principles established in this Code and there is no greater degree of harm created in any proposal.

10) KEY VIEWS VERIFIED VIEW 4

As part of the design control process in forming the illustrative proposals, this verified view is produced with before and after 3D CGI verified imagery by Visual Horizons Ltd.

Any future RMA proposal shall also produce this verified view from the identical location for comparison to ensure compliance with the design principles established in this Code and there is no greater degree of harm created in any proposal.



VERIFIED VIEW 4 - EXISTING

ON SIPTON OLD ROAD LOOKING SOUTH WEST DOWN THE HILL.

VERIFIED VIEW 4 - PROPOSED

THERE IS NO EXTENT OF THE PROPOSED DEVELOPMENT VISIBLE IN THIS VIEW



10) KEY VIEWS
VERIFIED VIEW 5



VERIFIED VIEW 5 - EXISTING

TAKEN FROM CENTRE OF OPEN GRASS AT LOWER END OF SITE IN A LOCATION WHERE THERE IS A POTENTIAL DESIRE LINE FOR PEDESTRIANS TO CROSS BETWEEN THE TWO UNMADE FOOTPATHS RUNNING NORTH-SOUTH AND NORTH-WEST TO SOUTH-EAST. THE DERELICT PUMP HOUSE IS VISIBLE AS ARE THE NEW DWELLINGS BUILT IN THE CONSERVATION AREA ON THE LAND IMMEDIATELY TO THE WEST OF THE PROPOSED DEVELOPMENT SITE BY MCDERMOTT HOMES



As part of the design control process in forming the illustrative proposals, this verified view is produced with before and after 3D CGI verified imagery by Visual Horizons Ltd.

Any future RMA proposal shall also produce this verified view from the identical location for comparison to ensure compliance with the design principles established in this Code and there is no greater degree of harm created in any proposal.



VERIFIED VIEW 5 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS THE REFURBISHED AND EXTENDED PUMP HOUSE IN ITS PROPOSED USE AS A COMMUNITY CAFE. NEW TREE PLANTING SOFTENS THE IMPACT OF THE MCDERMOTT DEVELOPMENT. THERE IS A SOFT FINISHED PATH (HOGGIN) CONNECTING THE TWO MAIN PEDESTRIAN ROUTES WHICH CROSS THE SITE AS DESCRIBED ABOVE. THIS PATH LINKS TO THE NEW COMMUNITY CAFE AND ALSO PROVIDES THE POTENTIAL FOR A PEDESTRIAN LINK INTO THE MCDERMOTT HOMES DEVELOPMENT WHERE NONE EXISTS AT PRESENT.

Rev: 1

Date: 14.09.22

Drawn: C

Checked: C

PLANNING

Project Name

2029

Land to East of Windermere Ave Colne, Pendle Accrue Capital

2025

Client

NTS

Drawn By

CPL 14.09.22

Checked By

CPL 14.09.22

CPL ARCHITECTURE

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10) KEY VIEWS VERIFIED VIEW 6

As part of the design control process in forming the illustrative proposals, this verified view is produced with before and after 3D CGI verified imagery by Visual Horizons Ltd.

Any future RMA proposal shall also produce this verified view from the identical location for comparison to ensure compliance with the design principles established in this Code and there is no greater degree of harm created in any proposal.



VERIFIED VIEW 6 - EXISTING

TAKEN FROM THE POINT ON THE EXISTING UNMADE FOOTPATH CROSSING THE SITE FROM NORTH-WEST TO SOUTH EAST, WHERE THE LAND STARTS TO DROP TOWARDS THE HOUSES BUILT ON THE NORTH SIDE OF SKIPTON OLD ROAD IN THE SOUTH-EAST CORNER OF THE SITE.

VERIFIED VIEW 6 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS THE NEW SOFT FINISHED FOOTPATH (HOGGIN) TO PROVIDE A BETTER LINE OF CONNECTIVITY BETWEEN SKIPTON OLD ROAD AND CASTLE ROAD TO THE NORTH. SOME ADDITIONAL ENHANCED TREE PLANTING IS ALSO SHOWN. THERE IS NO OTHER CHANGE FROM THIS VIEWPOINT.



Drawn	Chris Littlemore	Checked	
Project Name	LAND TO EAST OF WINDERMERE AVE COLNE, PENDLE ACCRUS CAPITAL	Project Ref	2029
Client	NTS	Eng Ref	3006
Drawing	KEY VERIFIED VIEW 6	Scale	1:100
Drawn By	CPL 14.09.22	Drawn Date	CPL 14.09.22
Checked By	CPL 14.09.22	Checked Date	CPL 14.09.22

CPL ARCHITECTURE

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10) KEY VIEWS
VERIFIED VIEW 7



VERIFIED VIEW 7 - EXISTING

TAKEN FROM THE POINT IN A CENTRAL LOCATION ON THE SITE WHERE THERE IS NO UNMADE PATH OR OTHER IMPLIED ROUTE. THIS IS AROUND 18M TO THE NORTH OF A LINE OF EXISTING LOW HAWTHORN TREES AND DITCH-LINE WHICH IS TO BE RETAINED. THE GAP IN THIS DITCH-LINE OFFERS A VIEW OVER THE CONSERVATION AREA AND TO THE MOORLAND BEYOND.



VERIFIED VIEW 7 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS NO MATERIAL CHANGE OTHER THAN THE PRESENCE OF SOME TREE PLANTING TO THE SOUTH-EAST CORNER OF THE SITE AND PLANTING TO ENHANCE THE LINE OF TREES AT THE SOUTHERN BOUNDARY OF THE SITE.



THIS
VERIFIED
VIEW

Rev	1	Date	14.09.22	Drawn	Chris	Checked	
PLANNING							
Project Name				Project No			
LAND TO EAST OF WINDERMERE AVE COLNE, PENDLE ACCRUE CAPITAL				2029			
				Drawn By		Chris	
				2007			
				MIS			
Drawing				Scale			
KEY VERIFIED VIEW 7							
				Drawn By		Chris	
				CP		14.09.22	
				Checked By		Chris	
				CP		14.09.22	

CPL ARCHITECTURE

CHRIS LITTLEMORE (BA(Hons) BA(Hons) MRB RIBA
CHARTERED ARCHITECT

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Any future RMA proposal shall also produce this verified view from the identical location for comparison to ensure compliance with the design principles established in this Code and there is no greater degree of harm created in any proposal.

10) KEY VIEWS VERIFIED VIEW 8

As part of the design control process in forming the illustrative proposals, this verified view is produced with before and after 3D CGI verified imagery by Visual Horizons Ltd.

Any future RMA proposal shall also produce this verified view from the identical location for comparison to ensure compliance with the design principles established in this Code and there is no greater degree of harm created in any proposal.



VERIFIED VIEW 8 - EXISTING

TAKEN FROM THE HIGHEST POINT ON THE EXISTING UNMADE FOOTPATH RUNNING FROM NORTH-WEST TO SOUTH-EAST ACROSS THE SITE. THIS VIEW AFFORDS A VIEW ACROSS THE CONSERVATION AREA LOOKING SOUTH-EAST.



VERIFIED VIEW 8 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS THE END OF THE SHARED SURFACE PRIVATE DRIVE SERVING PLOT NO 147 WHERE THE DRIVE NARROWS TO CONTINUE AS A FOOTPATH RUNNING TOWARDS SKIPTON OLD ROAD ON THE LINE OF THE EXISTING UNMADE PATH. NO MATERIAL CHANGE EXISTS OTHER THAN THE INTRODUCTION OF A SUDS DRAINAGE DITCH IN THE FOREGROUND AND THE PRESENCE OF SOME TREE PLANTING TO THE SOUTH-EAST CORNER OF THE SITE AND PLANTING TO ENHANCE THE LINE OF TREES ON THE SOUTHERN BOUNDARY.

Drawn	Check	Drawn	Check
14.09.22	14.09.22	14.09.22	14.09.22
PLANNING			
Project Name	Project No	Project Date	Project Rev
LAND TO EAST OF WINDERMERE AVE	2029	14.09.22	01
COLNE, PENDLE	3008		
ACCUSE CAPITAL	MTS		
Drawing	North		
KEY VERIFIED VIEW 8			
Drawn By	Drawn	Check By	Check
CPL	14.09.22	CPL	14.09.22

CPL ARCHITECTURE

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10) KEY VIEWS
VERIFIED VIEW 9



VERIFIED VIEW 9 - EXISTING

TAKEN FROM THE POINT ON THE EXISTING UNMADE FOOTPATH RUNNING FROM NORTH TO SOUTH ACROSS THE SITE WHERE THE VIEW OVER THE CONSERVATION AREA APPEARS FROM BEHIND THE NEW HOUSING DEVELOPMENT BY MCDERMOTT HOMES. THIS IS WHERE THE PATH ROUTE CROSSES THROUGH A DITCH LINE AND HEADS DIRECTLY DOWN TO SKIPTON OLD ROAD. THE EXISTING DERELICT PUMP HOUSE IS CLEARLY SEEN.



As part of the design control process in forming the illustrative proposals, this verified view is produced with before and after 3D CGI verified imagery by Visual Horizons Ltd.

Any future RMA proposal shall also produce this verified view from the identical location for comparison to ensure compliance with the design principles established in this Code and there is no greater degree of harm created in any proposal.



VERIFIED VIEW 9 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS THE EXTENDED REFURBISHED PUMP HOUSE WHICH BECOMES A COMMUNITY CAFE AS PART OF THE PROPOSALS. THERE IS A PROPOSED PRIVATE SHARED SURFACE ACCESS TO THE CAFE FOR ACCESSIBLE PARKING AND THE OCCASIONAL DELIVERY. THIS ROUTE ALSO ACTS AS THE CONTINUATION OF THE LINE OF THE EXISTING PUBLIC RIGHT OF WAY FOOTPATH RUNNING FROM CASTLE ROAD IN THE NORTH DOWN TO SKIPTON OLD ROAD. THIS ROUTE CAN ALSO ACT AS A CYCLE ROUTE TO LINK CASTLE ROAD WITH SKIPTON OLD ROAD.



10) KEY VIEWS VERIFIED VIEW 10

As part of the design control process in forming the illustrative proposals, this verified view is produced with before and after 3D CGI verified imagery by Visual Horizons Ltd.

Any future RMA proposal shall also produce this verified view from the identical location for comparison to ensure compliance with the design principles established in this Code and there is no greater degree of harm created in any proposal.



VERIFIED VIEW 10 - EXISTING

TAKEN FROM A DISTANT FOOTPATH TO THE SOUTH EAST OF THE SITE ON THE SOUTH SIDE OF SKIPTON OLD ROAD AND WITHIN THE CONSERVATION AREA. THIS UNMADE FOOTPATH RUNS EAST TO WEST AND THERE IS A GLIMPSE VIEW OF THE UPPER PARTS OF THE PROPOSED DEVELOPMENT SITE.

THIS VIEW IS FRAMED BY THE EXISTING DWELLINGS ON THE SOUTH SIDE OF SKIPTON OLD ROAD AND HAS VARIOUS TREES WITHIN THE SETTING.



VERIFIED VIEW 10 - PROPOSED

THE PROPOSED VIEW FROM THIS LOCATION SHOWS DISTANT ROOFSCAPE OF THE PROPOSED DEVELOPMENT ALONGSIDE ADDITIONAL TREES TO BE PLANTED AS PART OF THE PROPOSALS. THE ROOFSCAPE FOLLOWS THE LINE OF THE DISTANT HORIZON WITH THE IMPACT BEING MINIMAL AND OF NO MATERIAL HARM TO THE SETTING OR APPEARANCE OF THE CONSERVATION AREA.

Rev	Date	Details	Drawn	Checked
01	14.09.22	PLANNING		
PROJECT NAME				
LAND TO EAST OF WINDERMERE AVE		2029	Design	Plan
COLINE, PENDLE		2010	Design	Plan
ACCRUE CAPITAL		2010	Design	Plan
Drawing		NTS	Scale	
KEY VERIFIED VIEW 10				
CPL 14.09.22				
CPL ARCHITECTURE				
CHRIS LITTLEMORE BA(Hons) BArch MSc RIBA				
CHARTERED ARCHITECT				

10) KEY VIEWS
INDICATIVE VIEW 11



As part of the design control process in forming the illustrative proposals, this illustrative view was produced by Visual Horizons Ltd.

G

INDICATIVE VIEW 11

TAKEN FROM A SIMILAR VIEWPOINT AS VERIFIED VIEW 9 BUT THIS IS LOOKING EAST ALONG THE NEW SOUTHERN EDGE OF THE BUILT DEVELOPMENT. THE RETAINED DITCHLINE AND HAWTHORN TREES (WITH SOME ENHANCEMENT PLANTING) ARE CLEARLY SHOWN AS IS THE ENHANCED PLANTING TO THE EASTERN BOUNDARY

THIS TYPIFIES CHARACTER AREA 3 AS DESCRIBED IN THE DESIGN AND ACCESS STATEMENT BY CPL ARCHITECTURE

Rev: 1
Date: 14.09.22
Drawn: CPL
Checked: CPL

PLANNING

Project/Client: LAND TO EAST OF WINDERMERE AVE COLNE, PENDLE ACCRUE CAPITAL

Project No: 2029

Draw No: 3011

Scale: NTS

Drawing: INDICATIVE VIEW 11

Created By: CPL 14.09.22

Checked By: CPL 14.09.22

CPL ARCHITECTURE

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10) KEY VIEWS INDICATIVE VIEW 12

As part of the design control process in forming the illustrative proposals, this illustrative view was produced by Visual Horizons Ltd.



G

INDICATIVE VIEW 12

TAKEN FROM THE FOOTPATH RUNNING DOWN TO SKIPTON OLD ROAD ADJACENT TO THE PROPOSED CHILDRENS PLAY AREA WHICH IS SET INTO THE SLOPE SO IS NOT VISIBLE FROM THIS VIEWPOINT. THE WALKWAY ALONG THE NORTH SIDE OF THE NEW POND IS VISIBLE AS IS THE POND AND THE NEW COMMUNITY CAFE CREATED FROM THE REFURBISHED AND EXTENDED PUMP HOUSE.

Item	Date	Details	Drawn	Checked
PLANNING				
Proposed Use	2023	2023		
LAND TO EAST OF WINDERMERE AVE	2023	2023		
COLNE, PENDLE	2023	2023		
ACCUE CAPITAL	2023	2023		
Drawn	NTS			
Checked				
INDICATIVE VIEW 12				
Drawn By	CPL	14.05.22		
Checked By	CPL	14.05.22		
CPL ARCHITECTURE				
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10) KEY VIEWS
INDICATIVE VIEW 13



As part of the design control process in forming the illustrative proposals, this illustrative view was produced by Visual Horizons Ltd.

G

INDICATIVE VIEW 13

TAKEN FROM A THE PROPOSED MAIN ACCESS ROAD THROUGH THE DEVELOPMENT LOOKING NORTH TOWARDS THE CENTRAL SQUARE. THE SHARED SURFACE NATURE OF THE ROAD AND PATHS IS VISIBLE TOGETHER WITH THE CHARACTER OF THE DWELLINGS WHICH IS DRAWN FROM THE LOCAL VERNACULAR LANGUAGE OF MATERIALS, DETAILS AND FORM. IN THE DISTANCE, THE MOORLAND TO THE NORTH IS VISIBLE.

THIS VIEW IS TYPICAL OF CHARACTER AREA 2

Rev	Date	Details	Drawn	Checked
Revised by				
PLANNING				
Project/Client	Project No.	Drawn By	Checked By	
LAND TO EAST OF WINDERMERE AVE	2029			
COLNE, PENDLE	3013			
ACCRIE CAPITAL	MTS			
Drawing	Revised			
INDICATIVE VIEW 13				
Drawn By	Checked By			
CPL 14.05.22	CPL 14.05.22			
Drawn By	Checked By			
CPL 14.05.22	CPL 14.05.22			
CPL ARCHITECTURE				
CHRIS LITTLEMORE BArch(Hons) BA(Hons) MSc RIBA				
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10) KEY VIEWS INDICATIVE VIEW 14

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G

INDICATIVE VIEW 14

TAKEN FROM A THE PROPOSED MAIN ACCESS ROAD THROUGH THE DEVELOPMENT LOOKING SOUTH INTO THE CENTRAL SQUARE. THE SHARED SURFACE NATURE OF THE ROAD AND PATHS IS VISIBLE TOGETHER WITH THE CHARACTER OF THE DWELLINGS WHICH IS DRAWN FROM THE LOCAL VERNACULAR LANGUAGE OF MATERIALS, DETAILS AND FORM. IN THE DISTANCE, THE MOORLAND TO THE SOUTH IS VISIBLE.

THIS TYPICAL OF THE CHARACTER AREA 1 AS DESCRIBED IN THE DESIGN AND ACCESS STATEMENT BY CPL ARCHITECTURE

Rev	Date	Details	Drawn	Checked
1	14.05.22	PLANNING		
2	14.05.22	LAND TO EAST OF WINDERMERE AVE		
3	14.05.22	COLNE, PENDLE		
4	14.05.22	ACCURUE CAPITAL		
5	14.05.22	NTS		
6	14.05.22	INDICATIVE VIEW 14		
7	14.05.22	CPL 14.05.22		
8	14.05.22	CPL 14.05.22		

CPL ARCHITECTURE

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10) KEY VIEWS

INDICATIVE VIEW 15



As part of the design control process in forming the illustrative proposals, this illustrative view was produced by Visual Horizons Ltd.

G

INDICATIVE VIEW 15

TAKEN FROM A THE NORTHERN END OF THE PROPOSED MAIN ACCESS ROAD LOOKING SOUTH. THIS AND THE CENTRAL SQUARE ARE THE DENSEST PARTS OF THE DEVELOPMENT DRAWING THEIR CHARACTER FROM LOCAL SETTLEMENTS IN TERMS OF HOUSE FORM, DETAIL AND MATERIALS.

THE ORGANIC LINEAR NATURE OF THE STREET TYPIFIES CHARACTER AREA 2 AS DESCRIBED IN CPL ARCHITECTURE DESIGN AND ACCESS STATEMENT

Rev	Date	Details	Drawn	Checked
PLANNING				
Project No.		2029		
Project Name		LAND TO EAST OF WINDERMERE AVE COLNE, PENDLE ACCRUE CAPITAL		
Drawing		INDICATIVE VIEW 15		
CPL ARCHITECTURE		CHRIS LITTLEMORE (ARCHITECT) SARAH NISBET (ARCHITECT)		

The site presents an opportunity to fill in, enclose and form a new edge to the settlement of Colne having been previously identified as land suitable for this purpose by the Local Authority. The proposal is for up to 150 new dwellings (Use Class C3) with parking and landscaping, new children’s facilities and the provision of a new community asset in the form of The Pump House Community Use Building under Class E or F, from an existing derelict building on site.

The overall proposal will provide much needed family accommodation within the area and help reduce the current deficit of housing supply.

The outline proposals have given considerable attention to the previous applications and appeals on the site and the reasons for refusal and dismissal of the previous Appeal ‘B’ from 2016. Significant changes have been made in the illustrative proposals.

This Design Code shall form a key document upon which to base any future RMA proposals. It is anticipated that a planning approval to the Outline Application containing illustrative designs can contain a condition obliging any future RMA proposal to comply with this Design Code.

As a result, any future development on this site will measure well when judged against the following ideals:-

There is to be no material harm to the conservation area arising from any future proposals.

Any future proposals shall be designed giving full consideration to key nationally recognised criteria as well as local residential design guidance.

Any future proposals shall follow the nationally recognised criteria summarised in the ‘Building for a Healthy Life’ providing good solutions under each of the following headings:-

- 1) Natural Connections
- 2) Facilities and Services
- 3) Walking Cycling and Public Transport
- 4) Meeting local housing requirements - Homes for Everyone
- 5) A Memorable Character
- 6) Working with the site and its context
- 7) Creating well defined streets and spaces
- 8) Easy to find your way around
- 9) Healthy Streets for All
- 10) Cycle and Car Parking
- 11) Public and private spaces - Green and Blue Infrastructure
- 12) External storage and amenity space - Back of Pavement / Front of Home

When examined against each of the above design topics, the illustrative proposals and any design complying with this Design Code will achieve, a good or better than average rating when examined. There shall be no areas where the proposals significantly fail to meet the requirements of the recommended standards in the ‘Building for a Healthy Life’ criteria. In so doing, any future RMA proposal shall represent a ‘good place to live, in well designed homes and in a well designed neighbourhood’.

Whilst the dwellings are generally small, they address directly the market need for such accommodation and all units shall comply with the National Development Space Standards.

Technical matters of Planning, Highways, Heritage, Ecology, Landscape, Drainage, Contamination, Acoustics, have all been considered within the evolution of the illustrative proposals and separate reports were submitted in each of these disciplines as part of the Outline Application. Any future RMA proposal shall also consider each of these disciplines and provide necessary information to satisfy all criteria imposed from each.

As such, any future RMA proposal shall be for a sound development, to provide attractive dwellings within the parameters of the National and PBC Planning guidance.

APPENDIX 1
2B4P 81SQM MEWS APARTMENT



Illustrative House types are derived from the contextual study of the local area, building form, scale, window to wall ratios, proportions and materiality.

It is essential that any future proposal on this site incorporates these influences into house type design to avoid poor dumbed down appearance and lack lustre imitation detailing.

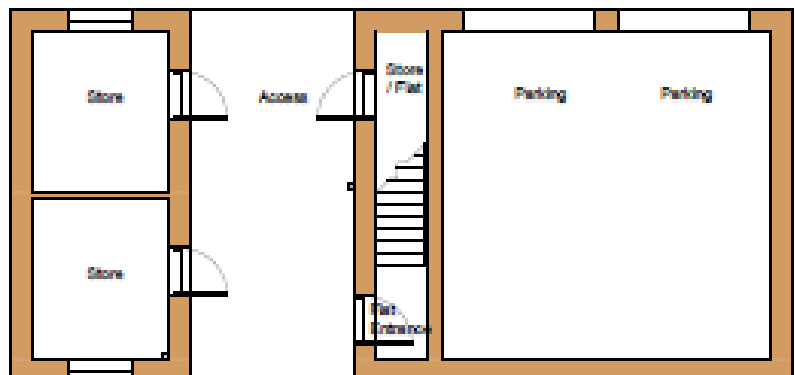
All of the above are to be considered carefully and this suite of house types in Appendix 1 of this Design Code should be utilised as a firm guide to any future proposals.

It is important that there are a number of different house types within the total of up to 150 dwellings in order to provide variety within the layout.

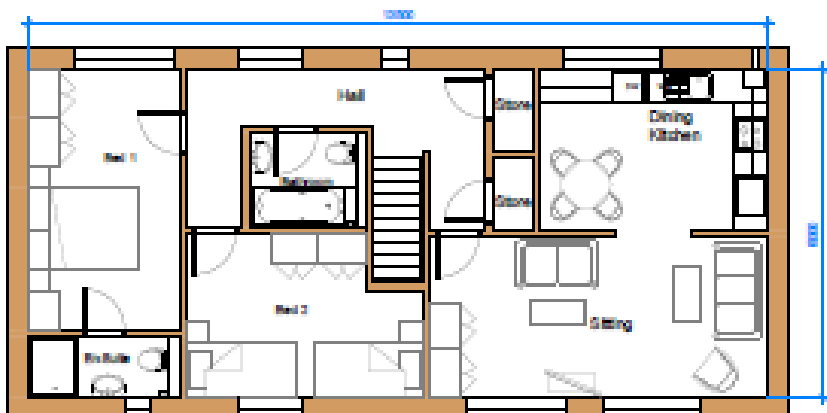
It is recommended that at least 13 types are utilised.

All dwellings shall comply with the NDSS and look to achieve a 10% improvement on Building Control thermal insulation and energy use standards.

Every plot shall have an electric vehicle charging point, refuse store hard standing in the rear garden together with an enclosed cycle store for two cycles.



Ground Floor
2B4P - 81sqm
Mews Apartment



First Floor



G

Stone Walling - Forticrete Anstone Standard Old
Heather Black Pitched laid to course in random
course heights and random lengths.
Quoins to corners. Stone gutter brackets to match.

Window / Door Surrounds in reconstructed stone to match walling.
Options to be left in natural stone finish or painted in colour as noted on plot development schedule

Roofs - Natural Blue slate or Greys Arctstone
Reconstituted Diminishing Stone Slates blue ridge
tiles to match as noted on plot development
schedule

FWGoods in black faux iron square section gutters and down pipes.

Windows, painted timber (acoya or similar)

A. 01.00.00.000000000000		0%	0%
State	Local	State	Local
PLANNING			
Project No:		Project No:	
LAND TO BURT OF		2006	
WINDERMERE AVENUE		Highway	State
PINEVILLE		R02	A
County		Area	
Wayne		4,950.00	
City		North	
2 BEDROOM 4 BATH			
MIDWEST APARTMENT		Estimated by: Date: C.P.A. \$600.00	
2549 STMA		Checked by: Date: C.P.A. \$600.00	

CPL ARCHITECTURE

CHRIS LITTLEJOHN (Nashua) Book: *MAN, PINK*
CHRISTOPHER LUCHINSKY

1. **Identify the main idea of the passage.**
 2. **Identify the supporting details.**
 3. **Identify the author's purpose.**
 4. **Identify the author's tone.**
 5. **Identify the author's point of view.**
 6. **Identify the author's bias.**
 7. **Identify the author's audience.**
 8. **Identify the author's style.**
 9. **Identify the author's structure.**
 10. **Identify the author's language.**

APPENDIX 1

2 STOREY VERSION 2B4 80.6 SQM HOUSE - SHORT SIDE ENTRY

3 STOREY VERSION 3B6P 106.1 SQM HOUSE - SHORTSIDE ENTRY

Illustrative House types are derived from the contextual study of the local area, building form, scale, window to wall ratios, proportions and materiality.

It is essential that any future proposal on this site incorporates these influences into house type design to avoid poor dumbed down appearance and lack lustre imitation detailing.

All of the above are to be considered carefully and this suite of house types in Appendix 1 of this Design Code should be utilised as a firm guide to any future proposals.

It is important that there are a number of different house types within the total of up to 150 dwellings in order to provide variety within the layout.

It is recommended that at least 13 types are utilised.

All dwellings shall comply with the NDSS and look to achieve a 10% improvement on Building Control thermal insulation and energy use standards.

Every plot shall have an electric vehicle charging point, refuse store hard standing in the rear garden together with an enclosed cycle store for two cycles.

Stone Walling - Forticrete Anstone Standard Old Heather Black Pitched laid to course in random course heights and random lengths.
Quoins to corners. Stone gutter brackets to match.

Window / Door Surrounds in reconstituted stone to match walling.
Options to be left in natural stone finish or painted in colour as noted on plot development schedule

Roofs - Natural Blue slate or Greys Artstone Reconstituted Diminishing Stone Slates blue ridge tiles to match as noted on plot development schedule
RWGoods in black faux iron square section gutters and down pipes.
Windows, painted timber (accoya or similar)



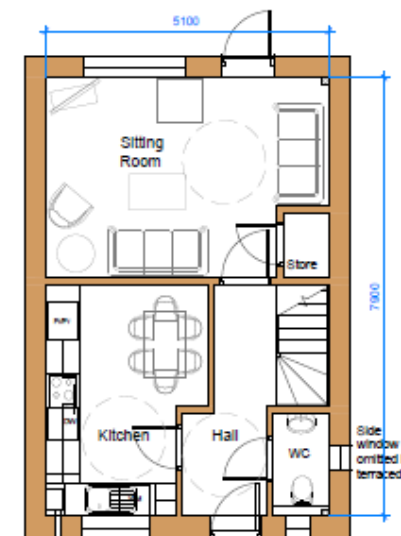
Front Elevation

Rear Elevation

Front Elevation 2.5 St

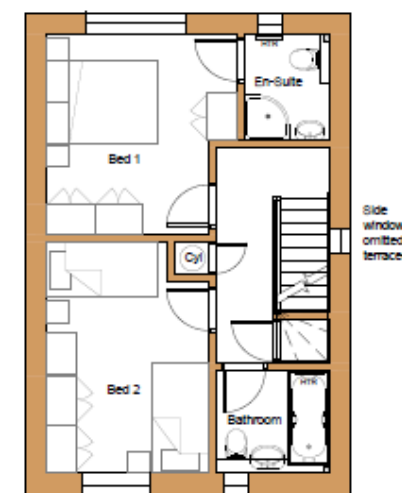
Rear Elevation 2.5 St

Side Elevation 2.5 St

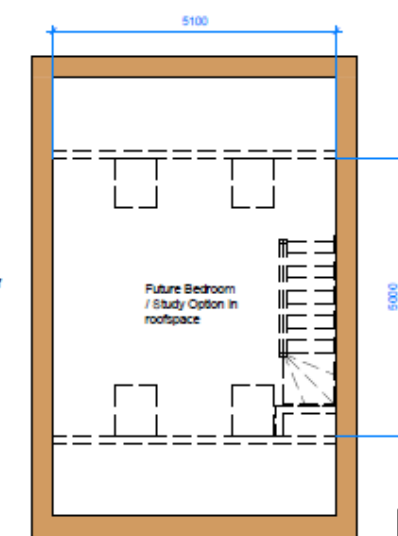


Ground Floor

2B4P - 80.6sqm
Short Side Entry

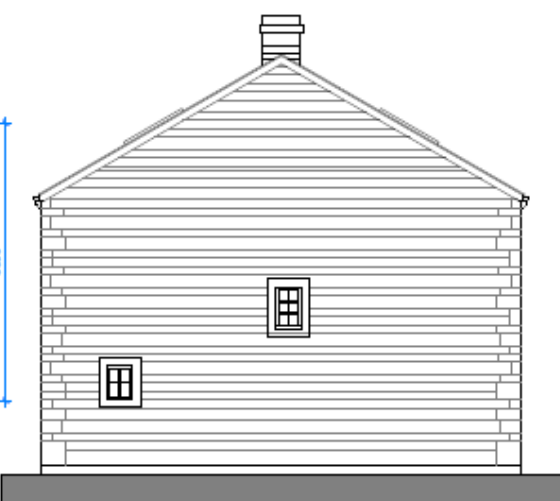


First Floor

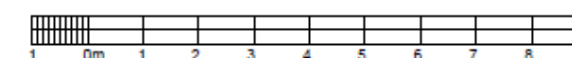


Optional 2nd Floor

25.5sqm added with
1B2P plus En-Suite
106.1 sqm total



Side Elevation



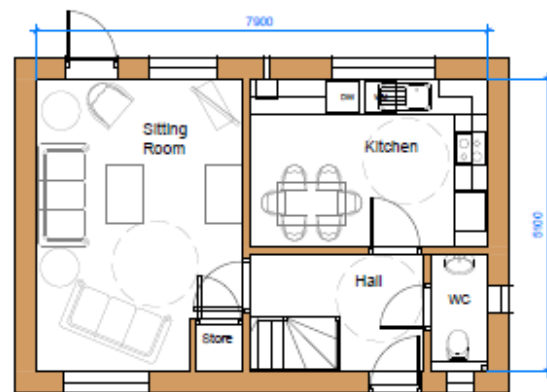
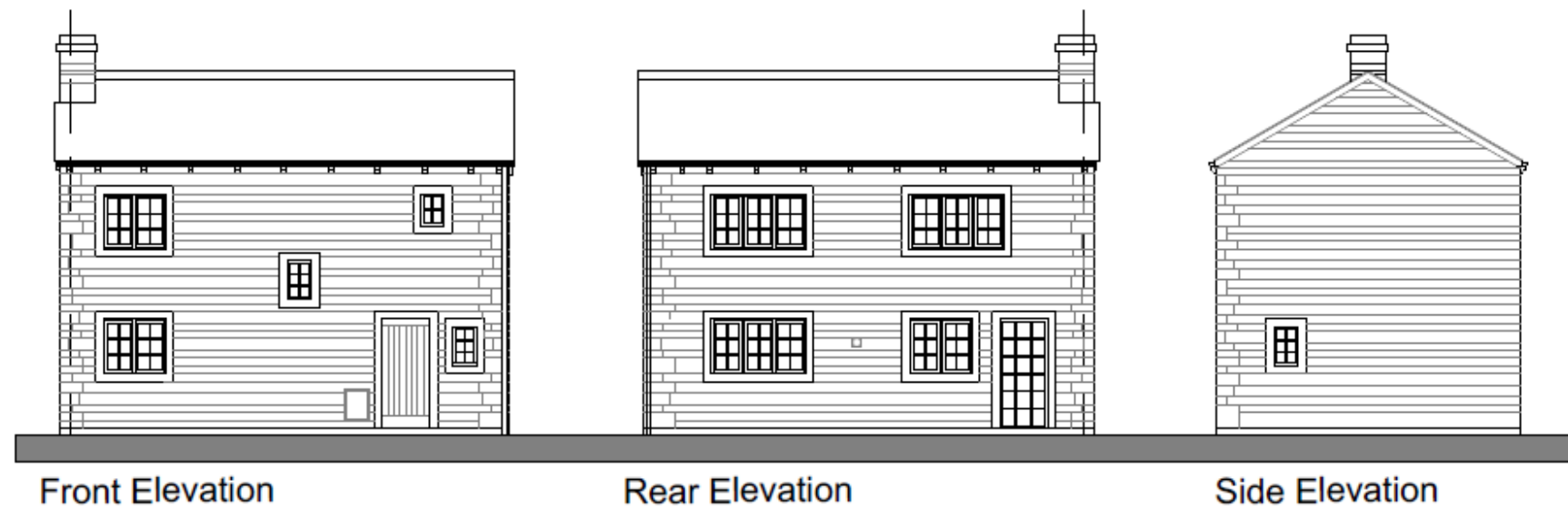
A 07/02/22 Materials Rev		CPL	CPL
Rev	Date	Drawn	Checked
100000000			
PLANNING			
Project/Client		Project No.	
LAND TO EAST OF		20229	
WINDERMERE AVENUE		Drawn By	Rev
PENDLE		401	A
Drawing		Scale	
2 BEDROOM 4 PERSON		1/100 @A3	
SHORT SIDE ENTRY HOUSE		North	
2B4P-80.6SQM + 3B6P-106.1		Drawn By	Date
		CPL	06/02/22
		Checked By	Date
		CPL	06/02/22

CPL ARCHITECTURE

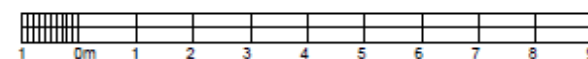
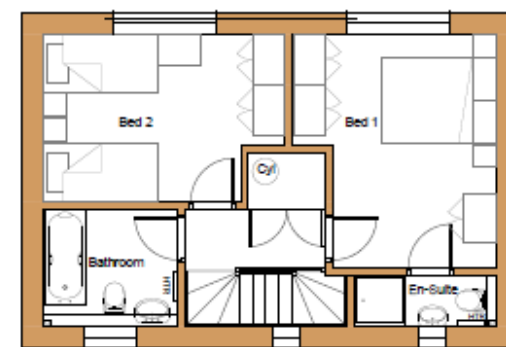
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APPENDIX 1 2B4P 80.6 SQM HOUSE - LONG SIDE ENTRY



2B4P - 80.6sqm
Long Side Entry



Stone Walling - Forticrete Anstone Standard Old Heather Black Pitched laid to course in random course heights and random lengths. Quoins to corners. Stone gutter brackets to match.

Window / Door Surrounds in reconstituted stone to match walling. Options to be left in natural stone finish or painted in colour as noted on plot development schedule

Roofs - Natural Blue slate or Greys Artstone Reconstituted Diminishing Stone Slates blue ridge tiles to match as noted on plot development schedule

RWGoods in black faux iron square section gutters and down pipes.

Windows, painted timber (accoya or similar)

A 07.08.22 Materials Rev		CPL	CPL
Rev	Date	Details	Drawn / Checked
PLANNING			
Project/Client:		Project No:	2009
LAND TO EAST OF WINDERMERE AVENUE		Drawn By:	Rev:
PENDLE		402	A
Drawing:		Scale:	1/100 @A3
2 BEDROOM 4 PERSON		North:	
LONG SIDE ENTRY HOUSE		Drawn By:	Date:
2B4P-80.6LSE		CPL	06.02.22
		Checked By:	Date:
		CPL	06.02.22

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It is recommended that at least 13 types are utilised.

All dwellings shall comply with the NDSS and look to achieve a 10% improvement on Building Control thermal insulation and energy use standards.

Every plot shall have an electric vehicle charging point, refuse store hard standing in the rear garden together with an enclosed cycle store for two cycles.

APPENDIX 1

2 STOREY VERSION SHORT SIDE ENTRY 3B5 – 93.6 SQM HOUSE - SHORT SIDE ENTRY

3 STOREY VERSION 4B7P 123.85 SQM HOUSE - SHORT SIDE ENTRY

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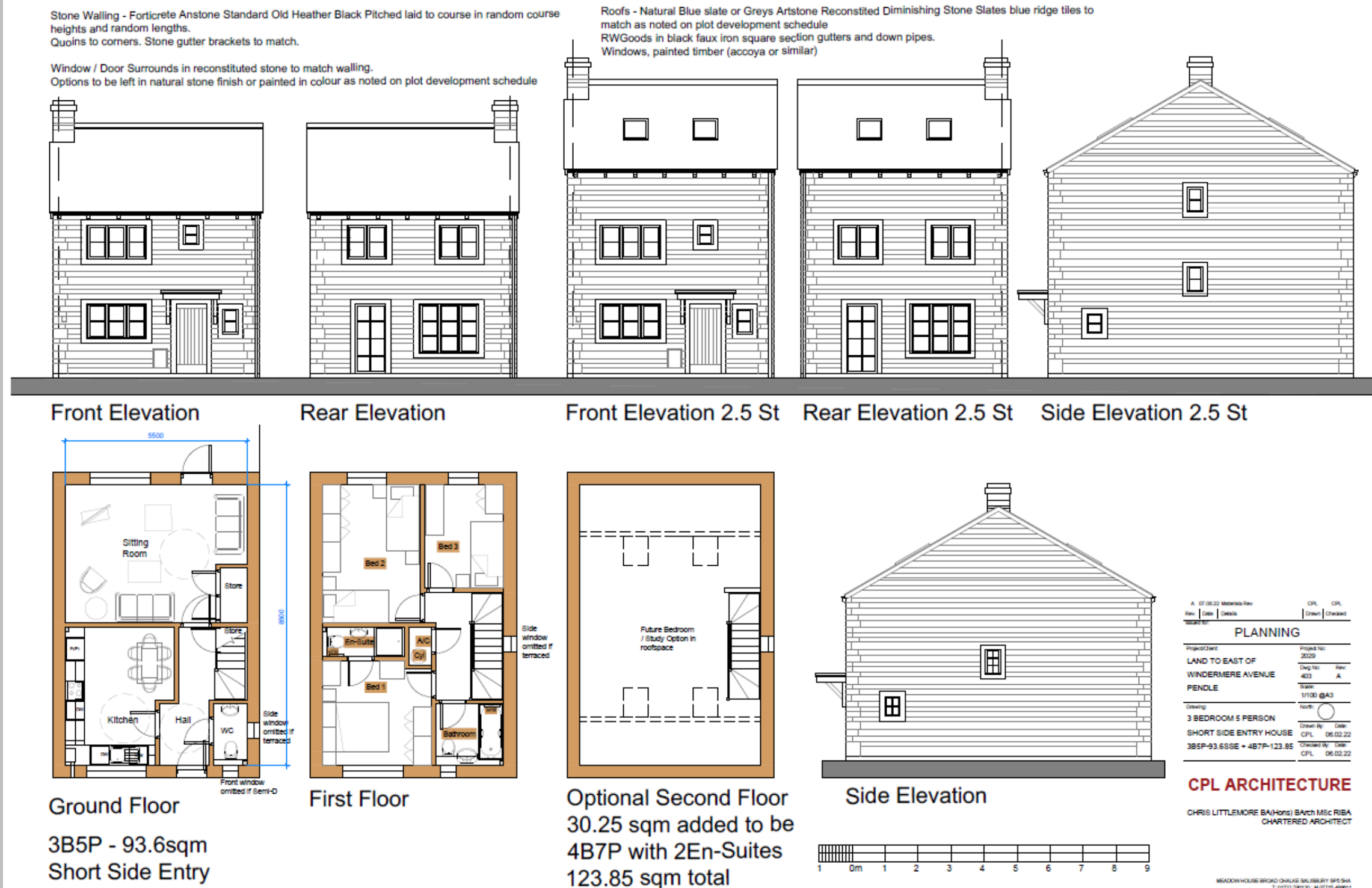
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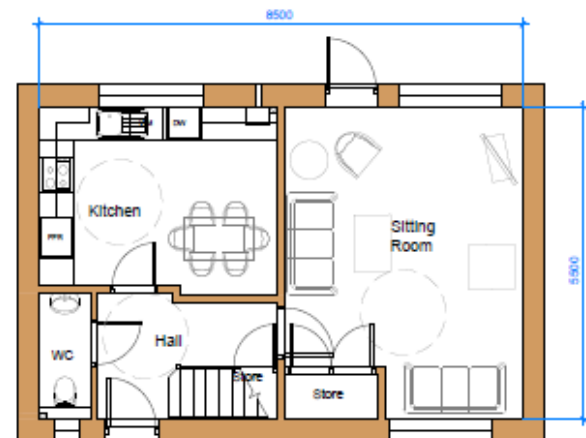
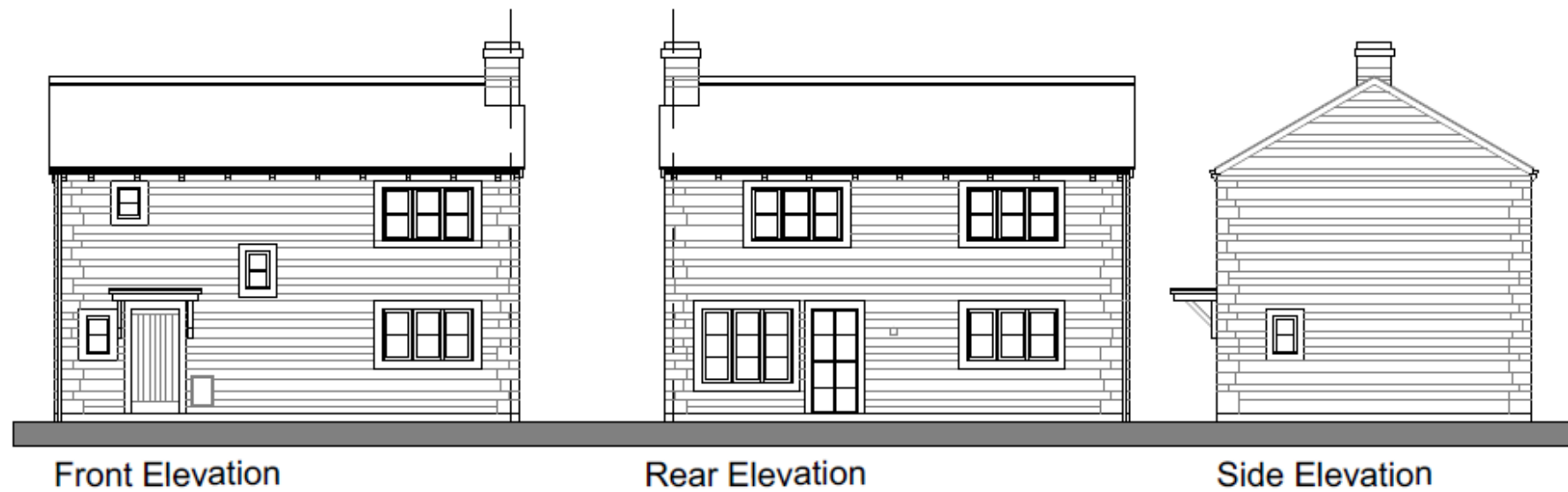
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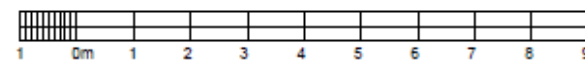
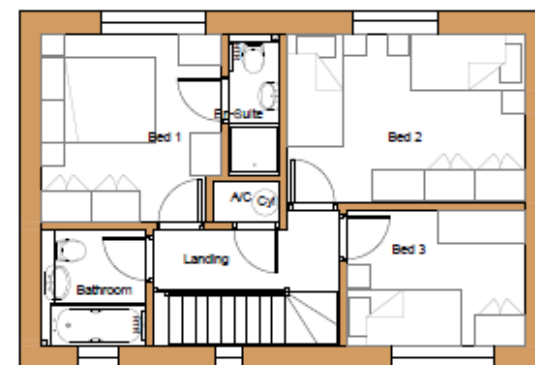


APPENDIX 1

3B5P 93.6SQM HOUSE - LONG SIDE ENTRY



3B5P - 93.6 sqm
Long Side Entry



Stone Walling - Forticrete Anstone Standard Old Heather Black Pitched laid to course in random course heights and random lengths. Quoins to corners. Stone gutter brackets to match.

Window / Door Surrounds in reconstituted stone to match walling. Options to be left in natural stone finish or painted in colour as noted on plot development schedule

Roofs - Natural Blue slate or Greys Artstone Reconstituted Diminishing Stone Slates blue ridge tiles to match as noted on plot development schedule

RWGoods in black faux iron square section gutters and down pipes.

Windows, painted timber (accoya or similar)
Porch - Lead Clad flat on painted timber gallows brackets

Rev	Date	Details	CPL	CPL
01	07/02/22	Material Rev		
02	07/02/22	Details		
03	07/02/22	Details		
04	07/02/22	Details		
05	07/02/22	Details		
06	07/02/22	Details		
07	07/02/22	Details		
08	07/02/22	Details		
09	07/02/22	Details		
10	07/02/22	Details		
11	07/02/22	Details		
12	07/02/22	Details		
13	07/02/22	Details		
14	07/02/22	Details		
15	07/02/22	Details		
16	07/02/22	Details		
17	07/02/22	Details		
18	07/02/22	Details		
19	07/02/22	Details		
20	07/02/22	Details		

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It is recommended that at least 13 types are utilised.

All dwellings shall comply with the NDSS and look to achieve a 10% improvement on Building Control thermal insulation and energy use standards.

Every plot shall have an electric vehicle charging point, refuse store hard standing in the rear garden together with an enclosed cycle store for two cycles.

APPENDIX 1 3B5- 103.7 SQM HOUSE - SQUARE PLAN

Illustrative House types are derived from the contextual study of the local area, building form, scale, window to wall ratios, proportions and materiality.

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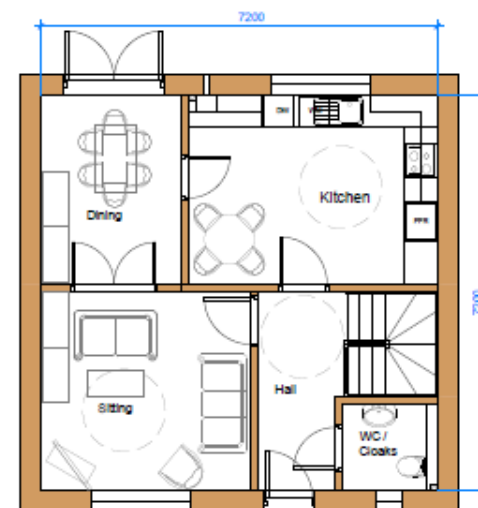
Stone Walling - Forticrete Anstone Standard Old Heather Black Pitched laid to course in random course heights and random lengths. Quoins to corners. Stone gutter brackets to match.

Window / Door Surrounds in reconstituted stone to match walling. Options to be left in natural stone finish or painted in colour as noted on plot development schedule

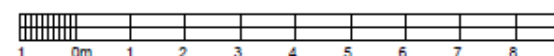
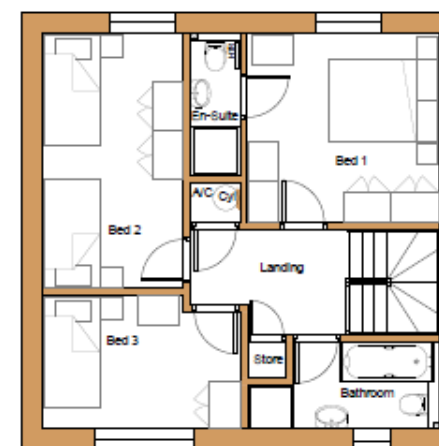
Roofs - Natural Blue slate or Greys Artstone Reconstituted Diminishing Stone Slates blue ridge tiles to match as noted on plot development schedule

RWGgoods in black faux iron square section gutters and down pipes.

Windows, painted timber (acoya or similar) Porch - Lead Clad flat on painted timber gallow brackets



3B5P - 103.7sqm
Square Form



A: 07/06/22 Materials Rev	CPL	CPL
Rev	Date	Details
01	07/06/22	01
PLANNING		
Project/Client	Project No.	2029
LAND TO EAST OF WINDERMERE AVENUE	Dwg No.	405
PENDE	Rev	A
Scale	1/100 @A3	
North		
Drawing	3 BEDROOM 5 PERSON	
HOUSE TYPE	3B5P-103.7SQ	
Drawn By	CPL	05/02/22
Checked By	05/02/22	

CPL ARCHITECTURE

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APPENDIX 1 2B4P 93.4 SQM CORNER HOUSE



Front Elevation

Rear Elevation

Side Elevation



2B4P - 93.4sqm
Corner House
Option to hand kitchen
and open into sitting room



First Floor




Stone Walling - Forticrete Anstone Standard Old Heather Black Pitched laid to course in random course heights and random lengths. Quoins to corners. Stone gutter brackets to match.

Window / Door Surrounds in reconstituted stone to match walling. Options to be left in natural stone finish or painted in colour as noted on plot development schedule

Roofs - Natural Blue slate or Greys Artstone Reconstituted Diminishing Stone Slates blue ridge tiles to match as noted on plot development schedule

RWGoods in black faux iron square section gutters and down pipes.

Windows, painted timber (accoya or similar)
Porch - Load Clad flat on painted timber gables brackets

A 07/06/22 Intermediate Rev		CPL	CPL
Rev	Date	Details	Drawn
PLANNING			
Project/Client		Request for	
LAND TO EAST OF		2020	
WINDERMERE AVENUE		Drawn By	A
PENDLE		400	
		Drawn	1/10/2020
		Drawn	A3
Drawing			
2 BEDROOM 4 PERSON		Drawn By	DR
CORNER HOUSE TYPE		CPL	DR
254P-03.4CH		Drawn By	DR
		CPL	DR

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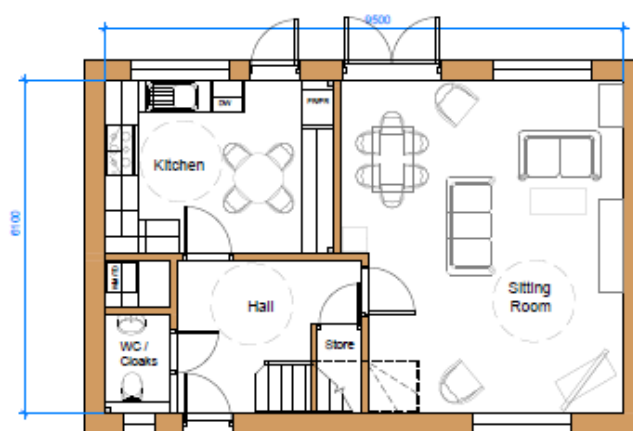
Stone Walling - Forticrete Anstone Standard Old Heather Black Pitched laid to course in random course heights and random lengths. Dressed Quoins to corners. Stone gutter brackets match.

Window / Door Surrounds in reconstituted stone to match walling. Options to be left in natural stone finish or painted colour as noted on plot development schedule

Roofs - Natural Blue slate or Greys Artstone Reconstituted Diminishing Stone Slates blue ridge tiles to match as noted on plot development schedule

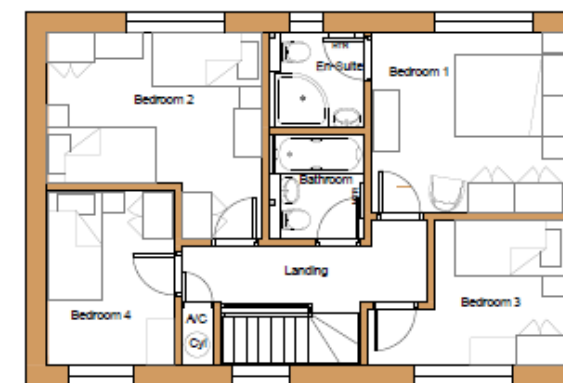
RWGoods in black faux iron square section gutter and down pipes.

Windows, painted timber (accoya or similar) Porch - Douglas Fir traditional jointed gallows bracket under pitched roof to match main roof



Ground Floor
4B6P - 116sqm

Long side entry
Option for garden to rear
or side for corner plot



First Floor



Side Elevation
(Option for side entry
90deg to garden)

A 07.08.22 Material Rev		CPL	CPL
Rev	Date	Details	Drawn / Checked
PLANNING			
Project/Client	Project No:	2029	
LAND TO EAST OF WINDERMERE AVENUE	Eng. No:	407	Rev: A
PENDLE	Scale:	1/100 @A3	
Orientation	North:		
4 BEDROOM 6 PERSON	Drawn By:	CPL	Date: 06.02.22
HOUSE TYPE	Checked By:	CPL	Date: 06.02.22
4B6P-116			

CPL ARCHITECTURE

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APPENDIX 1 4B7P 141 SQM HOUSE



Stone Walling - Forticrete
Anstone Standard Old Heather
Black Pitched laid to course in
random course heights and
random lengths.
Dressed Quoins to corners.
Stone gutter brackets to match.

Window / Door Surrounds in
reconstituted stone to match
walling.
Options to be left in natural
stone finish or painted in colour
as noted on plot development
schedule

Roofs - Natural Blue slate or
Greys Artstone Reconstituted
Diminishing Stone Slates blue
ridge tiles to match as noted on
plot development schedule

RWGoods in black faux iron
square section gutters and down
pipes.

Windows, painted timber
(accoya or similar)
Porch - Douglas Fir traditional
jointed gallowes bracket under
pitched roof to match main roof

A. 07/08/22 Materials Rev	CPL	CPL
Rev	Date	Details
01/08/22	01/08/22	01/08/22
PLANNING		
Project/Client:	Project No:	
LAND TO EAST OF	20229	
WINDERMERE AVENUE	403	Rev
PENDLE	1/1/00 @A3	A
Drawing:	North:	
4 BEDROOM 7 PERSON	Drawn By:	Date:
HOUSE TYPE	CPL	06/02/22
4B7P-141	Checked By:	Date:
	CPL	06/02/22

CPL ARCHITECTURE

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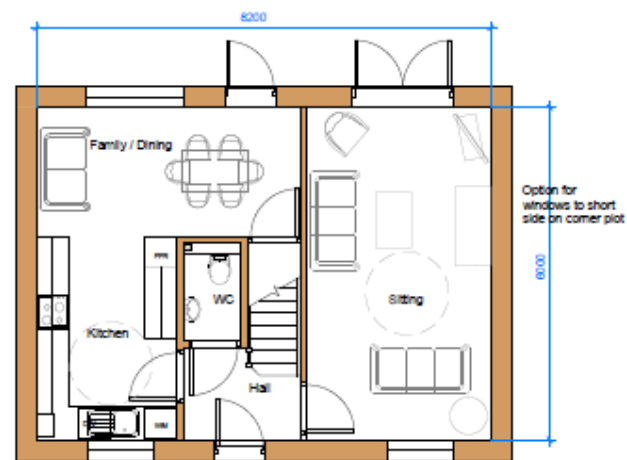
A 07/08/22 Materials Rev		CPL	CPL
Rev	Date	Details	Drawn / Checked
000001			
PLANNING			
Project/Client		Project No.	20229
LAND TO EAST OF WINDERMERE AVENUE		Draw No.	409
PENDLE		Rev	A
Drawing		Scale	1/100 @A3
4 BEDROOM 8 PERSON		North	North
HOUSE		Drawn By	CPL
4B8P-151.2		Date	05.02.22
		Checked By	15087
		Date	05.02.22

CPL ARCHITECTURE

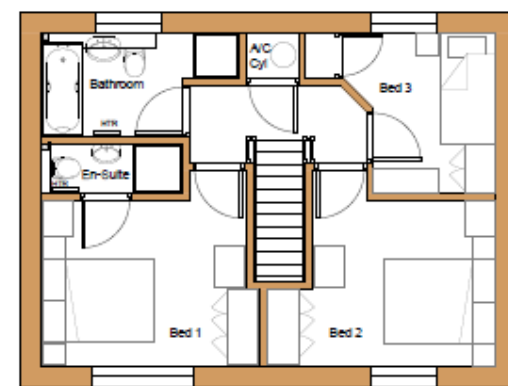
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APPENDIX 1 3B5P 98.4 SQM HOUSE



3B5P - 98.4 sqm
Long Side Entry



Stone Walling - Forticrete Anstone Standard Old Heather Black Pitched laid to course in random course heights and random lengths. Quoins to corners. Stone gutter brackets to match.

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A 07.02.22 Materials Rev		CPL	CPL
Rev	Date	Drawn	Checked
PLANNING			
Project/Client:		Project No:	
LAND TO EAST OF		2022	
WINDERMERE AVENUE		Draw No:	Rev
PENDLE		410	A
Drawing:		Scale:	1/100 @A3
3 BEDROOM 5 PERSON		North:	
HOUSE		Drawn By:	Date
3B5P-98.4		CPL	05.02.22
		Checked By:	Date
		CPL	05.02.22

CPL ARCHITECTURE

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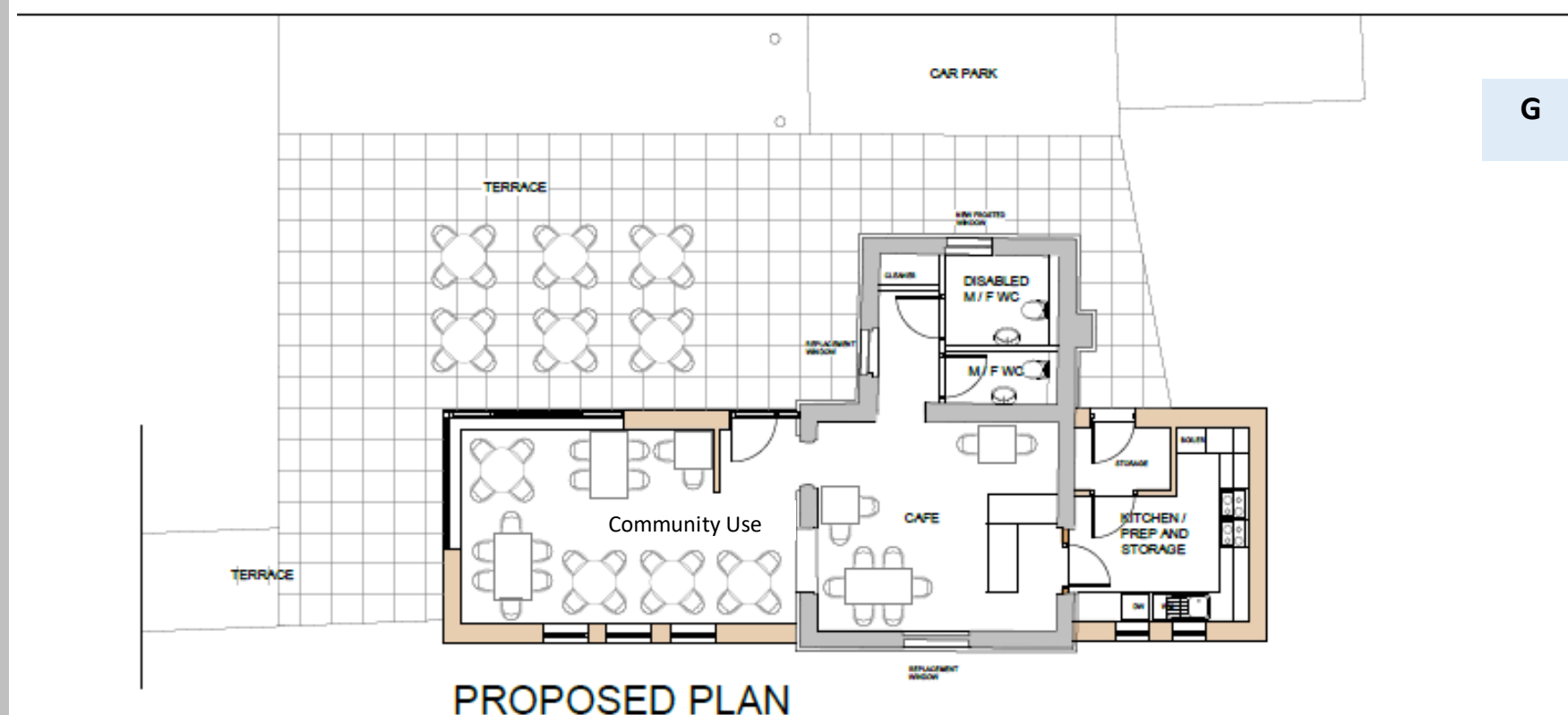
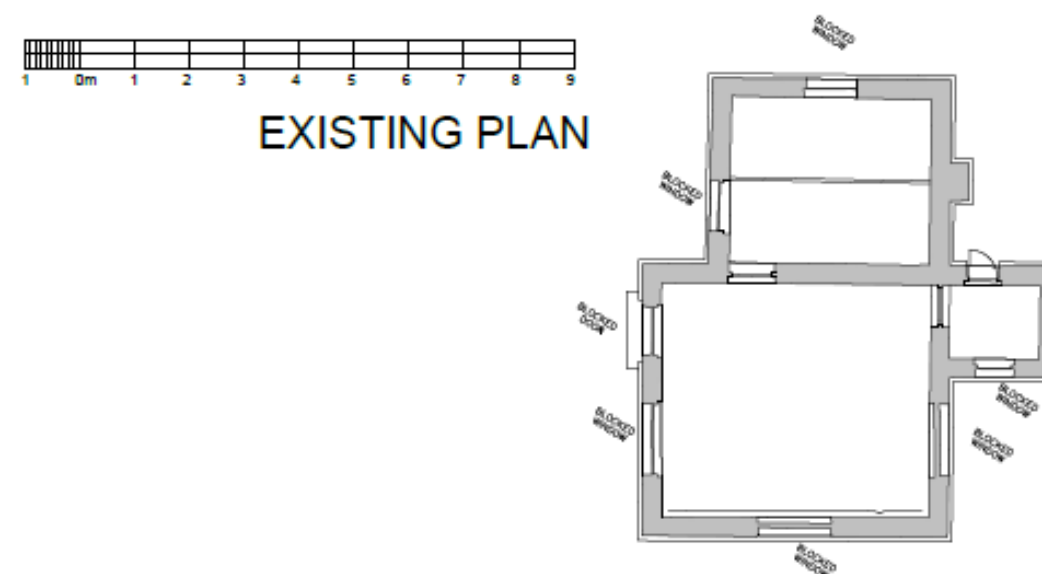
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Any future RMA proposal for the conversion of the Pump House into a Class E or Class F Community facility (with ancillary café and or art and or information use) shall take the original stone form which is expressed and enhanced by the addition of contemporary timber boarding and glass extensions on a stone plinth.



G

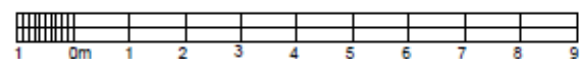
Rev.	Date	Details	Drawn	Checked
PLANNING				
Project/Client	2020	Project No.		
LAND TO EAST OF WINDERMERE AVENUE	412	Drawn By		Rev.
PENDLE	1/100 @A3	Scale		
Drawing		North		
PUMP HOUSE CAFE	27.05.22	Drawn By		Date
EXISTING AND	CPL	Checked By		Date
PROPOSED PLANS	CPL	Checked By		Date

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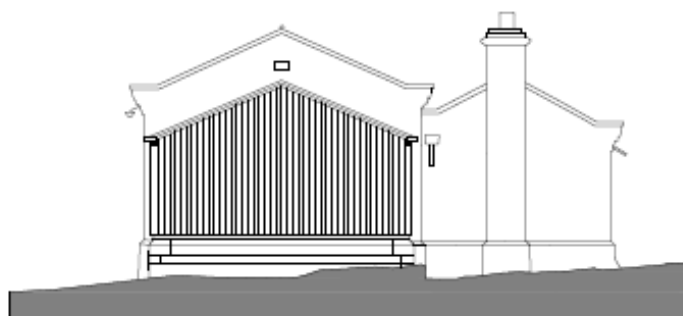
APPENDIX 1 PUMP HOUSE ELEVATIONS



PROPOSED WEST ELEVATION



PROPOSED SOUTH ELEVATION



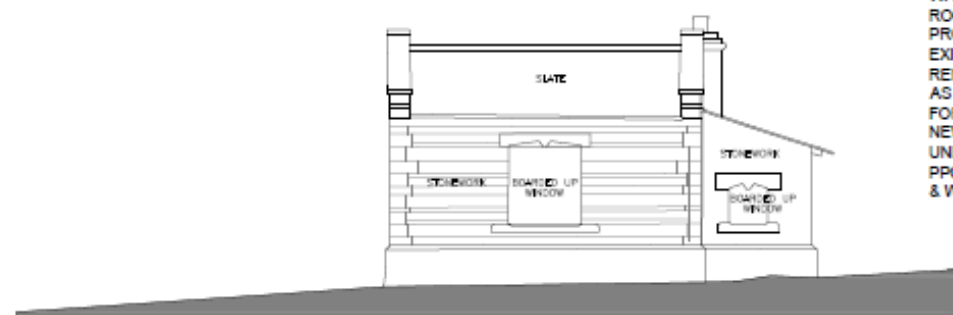
PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION



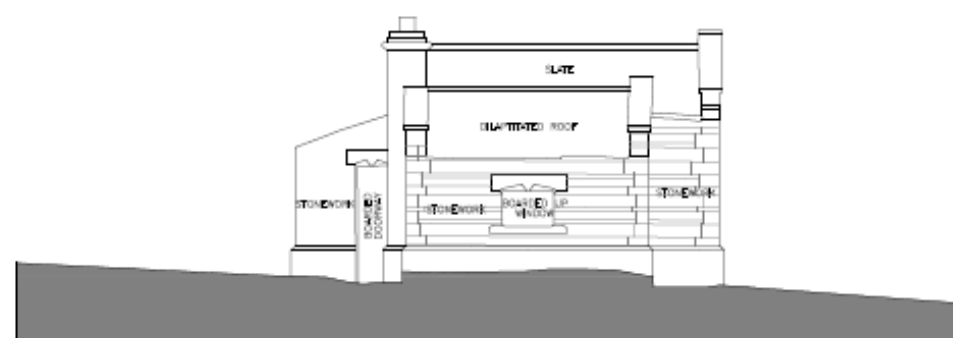
EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION

EXISTING MATERIALS
WALLS - GRITSTONE
ROOF - NATURAL SLATE
PROPOSED MATERIALS
EXISTING WALLS AND ROOF
RENOVATED / REPLACED
AS NECESSARY IN LIKE
FOR LIKE REPAIR
NEW WALLS - LARCH CLAD CONC BLOCK
UNDER NATURAL SLATE ROOF
PPC ALUMIN TRIMS / RWGs
& WINDOWS & DOORS

A. 08.06.22 Minor Corrections to Prop-B and N-Side-CPL				CPL
Rev	Date	Details	Drawn	Checked
PLANNING				
Project/Client		Project No.		
LAND TO EAST OF		2009		
WINDERMERE AVENUE		Drawn No.	Rev	
PENDLE		414	A	
Drawing		Scale		
PUMP HOUSE CAFE		1:100 @ A3		
EXISTING AND		North		
PROPOSED ELEVATIONS		Drawn By	Date	
		CPL	27.05.22	
		Checked By	Date	
		CPL	27.05.22	

CPL ARCHITECTURE

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Any future RMA proposal for the conversion of the Pump House into a Class E or Class F Community facility (with ancillary café and or art and or information use) shall take the original stone form which is expressed and enhanced by the addition of contemporary timber boarding and glass extensions on a stone plinth.

The roof to the whole shall be natural blue slate as exists at present.

These typical street elevations are taken from sections of the illustrative site layout. The variety of house form and type, juxtaposition and siting provides the identity of each area using the framework of each of the house types designed.

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Rev	Date	Drawn	Checked
PLANNING			
Project Name		Project No.	
LAND TO EAST OF WINDERMERE AVENUE		2029	
PENDLE		412	
Scale		1/200 @A3	
Drawing		North	
TYPICAL STREETS		ELEVATIONS	
ILLUSTRATIVE		CPL	
Drawn By		Date	
CPL		27.05.22	
Checked By		Date	
CPL		27.05.22	

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